AGENDA COMMITTEE OF THE WHOLE August 10, 2021 2200 Harnish Drive Village Board Room 7:30 P.M.

Trustee Glogowski– Chairperson
Trustee Smith
Trustee Brehmer
Trustee Dianis
Trustee Auger
Trustee Spella
President Sosine

- AGENDA -

- 1. Roll Call Establish Quorum
- 2. Public Comment Audience Participation

(Persons wishing to address the Committee must register with the Chair prior to roll call.)

- 3. **Community Development**
 - A. Consider a Special Event and Liquor Event Permits for St. Margaret Mary Oktoberfest September 18 and 19, 2021
 - B. Consider a Special Event Permit for the Algonquin Rotary Club's Harvest Fest on September 25, 2021
 - C. Consider Grand Reserve Subdivision Final Plat and PUD Amendment
- 4. General Administration
 - A. Consider Budget Amendment Fiscal Year Ending April 30, 2021
 - B. Consider Squad 92 Replacement Purchase
- 5. **Public Works & Safety**
- 6. **Executive Session**
- 7. Other Business
- 8. **Adjournment**



VILLAGE OF ALGONQUIN COMMUNITY DEVELOPMENT DEPARTMENT

-MEMORANDUM-

Date: August 10, 2021

TO: Committee of the Whole

FROM: Jason C. Shallcross, AICP, Community Development Director

Patrick M. Knapp, AICP, Senior Planner

RE: Consideration for St. Margaret Mary Oktoberfest Public Event/Entertainment

License – September 18-19

Attached is a permit application for a Public Event/Entertainment License for the St. Margaret Mary Oktoberfest event planned for September 18-19, 2021. This is event is a fundraiser for St. Margaret Mary School located at 119 South Hubbard Street and will include live music, a beer tent, food, and children's games. There is a \$5 suggested donation to attend the festival and the applicant, Dan Barton, expects approximately 500-800 participants to attend each day.

The event will be held on the grounds of the School Building, near Eastgate Drive. Setup will be on Friday, September 17 and cleanup will occur on Monday, September 20. The actual event hours will be Saturday from 1 pm to 11 pm and Sunday from 11:30 am to 7 pm. The beer tent will be closed 30 minutes prior to closing each day. Live music will occur between the hours of 2:30 pm to 10:30 pm on Saturday and 3 pm to 7 pm on Sunday.

Below are the recommended conditions of approval for the event and the Public Event License for consideration by the Committee of the Whole:

- 1. All garbage/debris from the event will be cleaned up and disposed of by the permittee.
- 2. Washroom facilities shall be available in Church facilities/buildings.
- 3. Any temporary tents or structures shall be properly weighted or tied down in accordance with manufacturers' instructions. No cooking under tents unless the tent is certified for such use. In the event of unfavorable weather conditions, any temporary tents or structures shall be vacated and removed, and no temporary tent or structure shall be used for shelter.

- 4. Temporary food service permits shall be obtained from the McHenry County Health Department and necessary inspections shall be allowed should food be offered to the public; a copy of such approval shall be provided to the Village by the event coordinator.
- 5. Liquor service shall end at 10:30 pm on Saturday, and live music shall end by 10:30 pm
- 6. Liquor service shall end by 6:30 pm on Sunday, and live music shall end by 7:00 pm
- 7. The required electrical and fire inspections shall be allowed to be conducted by Village and Fire Department staff.
- 8. A Public Event Liquor Permit to sell alcoholic liquor must be obtained from the Village and State Liquor Commissioners.
- 9. Someone that is BASSET certified shall be present during all times liquor is being served.
- 10. The applicant shall abide by all provisions of the Algonquin Municipal Code with specific attention to the Public Event/Entertainment section along with all provisions/requirements of the Public Event/Entertainment License Application checklist and the application provided.
- 11. The event coordinator is responsible for suspending or canceling the event in case of structural concerns, electrical malfunctions, or storms that may include wind in excess of 40 mph, lightning, tornado warnings, unruly crowds, or any other issues that may pose a risk or danger to the public.
- 12. Oktoberfest will be allowed three temporary 6'x5' banners to be located at the southwest corner of Illinois 62 and County Line Road, the southeast corner of Randall Road and Algonquin Road, and in front of St. Margaret Mary School. 18"x24" yard signs may also be placed in front, but out of the right-of-way, of St. Margaret Mary Church and School. A separate temporary sign permit will be submitted for the signs.



VILLAGE OF ALGONQUIN PUBLIC EVENT/ENTERTAINMENT LICENSE APPLICATION CHECKLIST

A license is required for all public events. This applies to both for profit and not-for-profit organizations, and includes but is not limited to outdoor exhibitions, shows, carnivals, circuses, concerts, and musical performances. The application packet must be completed in its entirety and submitted at least forty-five (45) calendar days before the Public Event to the Village of Algonquin, Community Development Department, 2200 Harnish Drive, Algonquin, IL 60102.

- All public event requests require a permit from the Village of Algonquin.
- The Village may place conditions on the public event as deemed appropriate to protect the health, safety, and welfare of the public.
- The Village Manager or his/her designee may revoke a public event/entertainment license or a carnival worker permit at any time and demand immediate cessation of the event based upon violations of this code, on-premise criminal acts by the event employees or when the event presents an endangerment to public safety.
- Police officers and all other Village officials shall have free access to the grounds and all booths, shows, and concessions on such grounds at all times to ensure that the event is in compliance with this code.

The Public Event Permit Application must include the following:

	Completed Public Event/Entertainment License Permit Application Form
	Application fee made payable to the Village of Algonquin in the amount of \$50 for each day the public
	event will run
	or: Submit proof of not-for-profit status
	Site approval if needed:
	1. Letter of consent from the property owner or;
	2. Letter to the Village Board requesting the use of public property
	Site plan showing the layout of the event
	Minimum Insurance Requirements - See pages 4 and 5 for requirements. (Proof of insurance shall be
	filed no less than 30 days prior to the event or the event shall be subject to cancellation.)
\checkmark	Electrical Building Permit Application with a copy of the contractor's electrical license and a detailed
_	drawing that includes the source of power and circuitry
	McHenry and/or Kane County Temporary Food Service permit, if applicable (Copy of approval to be
•	provided to Village within 5 days after event.)
	Will liquor be served at this event? ✓ Yes No
	If yes, then the appropriate liquor permit from the Liquor Commissioner must be applied for.
	Will a raffle be conducted as part of this event? Yes NoNote that applicant has pulled the raffle
	If yes, then the appropriate raffle permit from the Village Clerk must be applied for to the start of the event.
	(Such permit is limited to Algonquin-based, non-profit organizations only.)

Village of Algonquin Public Event Insurance Requirements

An indemnification and hold harmless agreement signed by the public event licensee in favor of the Village and proof of the following insurance:

1. All public events permits shall be supported by evidence of insurance coverage for the terms of the permit. Prior to commencing any of the activities approved by the public event permit, the applicant, at no expense to the Village, shall obtain and file with the Village, no less than 30 days prior to the event, evidence that its insurance meets the minimum requirements of this Section. All policies of insurance are (1) subject to Village approval of the insurance company, form, and coverage; (2) must be primary to and non-contributory with all other insurance and self-insurance maintained by the Village; and (3) must protect the Village from any and all claims and risks in connection with the permitted activity.

2. Minimum Insurance Requirements:

- A. Commercial General Liability: One million dollars (\$1,000,000) per occurrence for bodily injury, and property damage, and two million dollars (\$2,000,000) in the aggregate. Coverage shall be written on an industry standard form no more restrictive than the ISO CG 00 01 1001. This requirement applies to every permit application submitted for approval.
- b. Liquor Liability (Dram Shop): One million dollars (\$1,000,000) per occurrence for bodily injury, and property damage, and two million dollars (\$2,000,000) aggregate.

This requirement applies when alcohol is being sold or consumed on private or public property.

- c. Business Automobile Liability: One million dollars (\$1,000,000) combined single-limit per accident for bodily injury and property damage. Coverage shall be written on an industry standard form no more restrictive than the ISO CA 00 01. This requirement applies when a sponsor, organizer, or vendor is using vehicles as part of the event set-up, take down or being operated in relation to the event.
- d. Workers' Compensation and Employers' Liability: Workers' Compensation coverage with statutory limits and employers' liability limits of five hundred thousand dollars (\$500,000) per accident. This requirement only applies when a sponsor is using employees (not subcontractors or vendors) as part of the event set-up, take down or working in relation to the event.
- 3. Additional Insured Coverage: All insurance policies of event sponsors, coordinators, organizers, and vendors must be endorsed to name the Village as an "Additional Insured" on an industry form no more restrictive than the ISO forms CG 20 26 (CGL) and CA 20 48 (business auto liability) and shall provide for primary and non-contributory coverage limits. A copy of all additional insured endorsements must be supplied with the permit application.

Village of Algonquin Public Event Insurance Requirements (Continued)

4. Certificate of Insurance: Certificates of insurance evidencing the insurance coverage required for sponsors, organizers, coordinators, and vendors must be supplied with the permit application.

Insurance certificates must be on Acord 25 form, and must include the following language: "The Village of Algonquin is, and has been, endorsed as an additional insured under the above reference policy number on a primary and non-contributory basis for general liability coverage of the [EVENT NAME] on [DATE OF EVENT] taking place at [EVENT LOCATION]."

- 5. With reasonable notice to the sponsors and event organizers, the Village reserves the right to require insurance of the event sponsors, organizers, and vendors other than that specifically provided herein, and to change the minimum acceptable limits of liability based on the Village's determination, in its sole discretion, that the risk presented by the public event warrants such changes. The Village does not warrant or represent that the specified insurance is adequate to protect the interests or liabilities of the sponsor, organizer, or vendors.
- **6**. All insurance documents must be submitted not less than 30 days prior to the event. A public event permit cannot be issued without approved insurance.

Indemnification, Waiver and Release

To be signed by all: applicant, sponsor, organizer, promoter and permitee/licensee.

The Permittee/Licensee shall indemnify and hold harmless the Village, its officers, boards, commissions, agents, elected, elected officials, and employees (collectively, "the Village Indemnitees") from any and all costs, demands, expenses, fees and expenses, arising out of: (a) breach or violation by the Permittee/Licensee of any of it certifications, representations, warranties, covenants or agreements in its application and permit/license issued by the Village; (b) any actual or alleged death or injury to any person, damage to any property or any other damage or loss claimed to result in whole or in part from the negligent performance by or on behalf of the Permitee/Licensee; or (c) any negligent act, activity or omission of permittee or an or its employees, representatives, subcontractors or agents.

The Permitee/Licensee agrees to indemnify, defend and hold harmless the Village Indemnitees against and from any and all losses, claims, demands, causes of action, actions, suits, proceedings, damages, costs and/or liabilities of every kind and nature, whatsoever (including, but not limited to expenses for reasonable legal fees, and disbursements and liabilities assumed by the Village in connection therewith), to persons or property, in any way arising out of or through the acts or omissions of the Permitee/Licensee, its servants, agents or employees, or to which the negligence of the Permittee/Licensee shall in any way contribute.

Permitee/Licensee hereby waives and releases all claims against the Village Indemnitees or arising out of the issuance of a permit to Permitee/Licensee for any and all injuries to persons or damage to property from any cause arising at any time during the event listed herein or the issuance of the Permit/License.

The term "Permittee/Licensee" refers to the applicant, as well as any sponsor, organizer, promoter of the event. Each undersigned represents and warrants that he/she has authority to execute this Indemnification, Waiver and Release Agreement on behalf of the person or entity for which he/she has signed.

Permittee/ Licensee:	Dan Barton (St Margaret Mary School)	
Circle all that apply:	Applicant Sponsor Organizer Promoter	
By:	Dan Barton [Print] Dan Barton [Signature]	
Date:	8/4/2021	



Village of Algonquin

PUBLIC EVENT/ENTERTAINMENT LICENSE APPLICATION

In order for the Village of Algonquin to assist you with your Public Event, please fill out the information below and return to Diane LaCalamita at the Ganek Municipal Center (2200 Harnish Drive or dlacalamita@algonquin.org) at least 45 days prior to the event.

Please type or print legibly. Algonquin's Oktoberfest Presented by St Margaret Mary School Official Name of the Event: **Sponsoring Organization:** _Contact Name:___Brenna Ohearn Name: St Margaret Mary School Address: 119 S. Hubbard City, State,___ Alaonquin IL. 60102 Email: Phone: **Event Coordinator:** Name: Dan Barton Home Address: City, State, ZIP: Algonquin IL. 60102 Phone: Email: **Event Information:** Describe the Nature of the Event: __A community event with live music, social garden and food. New Event ______ Repeat Event _____ If repeat, will anything be different this year?_____ Will not be providing extra activities this year. Event Address: ___119 S. Hubbard Date(s) and Time(s) of the Event:__September 18th at 1 pm to September 19th at 7 pm Rain Date(s), if applicable: Set-Up Date/Time: September 17th 2 pm Maximum Number of Attendees/Participants Expected: 500 to 800 per day Admission Fee: Yes _____ No _____ If Yes, list fee(s) to be charged: ____\$5 suggested donation How will the revenue be used (include donations to non-profit or charitable organizations):_____ Fundraiser for the school

Event Website: https://stmmschool.org/oktoberfest/	
Event Details: Describe provided security, including who will be providing the security (name and contact information), hours, and a Will have orange fence and signs with no alcohol beyond this point with people at the entrances and exits.	a security plan: _
Dan Barton	
Describe parking or traffic control, including the location of extra parking and the number of spaces allocated, and ho parking will be handled: Parking will be in the school parking lot with overflow to the church	w overflow
Will there be a need for road closures? Yes No If Yes, please explain:	
Are you requesting Algonquin Police Officer(s) presence? YesNo If Yes, to perform what function?	
Do you want a fire truck or ambulance present? Yes No If Yes, for what hours and to perform what f	function?
Are you wishing to post temporary sign(s) announcing the event? Yes No If Yes, please describe destand date(s) that the signage will be displayed:	ired size, location
6'x5' Banners, 18x24 Yard signs. Banners placed at SW coner of 62 and County Line, SE corner Randall and 62, In Front of School. Yard Signs placed along church and school on RT. 62	
Do you wish to serve alcoholic beverages? Yes No	
If Yes, do you have DRAM Shop Insurance for the sale/consumption of alcohol? Yes No copy of the policy.	If Yes, attach a
Will you have live entertainment? (e.g. bands, D.J., amplified sound, etc.) Yes No	
Belvederes 8:30 to 10:30 Sept 18th, No Filter Band Septh 18th 5 to 7:30, Bad Penny 2:30 to 4	
No Name Band 3 to 7 Sept 19th	
All bands play 60's, 70's, 80's, 90's, 00's pop music	

Do you foresee any other special needs for this stations, electricity, generator, running water, t			d hand washing
Portable toilets provided by Crown Restroor	ms. Electric provided by Sunbelt renta	als	_
	/		-
Do you plan on holding a raffle during this eventh (Must be an Algonquin-based, non-profit orga		Note that the applicant	has pulled the raffle
Name of on-site contact during the event (plea	se print): Dan Barton		_
On-site contact's cell number: On-site contact's work number:			
On-site contact's home number:	same same		
Affidavit of Applicant: I, the undersigned applicant, or authorized ager application are true and correct upon my perso issue the permit herein applied for, that I am q requirements of the Algonquin Village Code, comply with the laws of the Village of Algone Event described herein. In addition, Applican offenders are employed by the carnival opera enforcement agencies. I (or the above named employees and successors and assigns, for any incurs as a result and arising either directly or attorney's fees.	nal knowledge and information for the ualified and eligible to obtain the per and any additional regulations, conquin, the State of Illinois, and the Unit certifies, by signing the application, and that no carnival employees organization) further agree(s) to how and all liability, damages, suits, cla	ne purpose of requesting the Villagermit applied for and agree to pay a ditions, or restrictions set forth in nited States of America in the cortion, that, pursuant to 720ILCS 5 are fugitives from Illinois or any ld harmless and indemnify the Villims and demands for damages at	ge of Algonquin to all fees, to meet all the permit and to induct of the Public (/11-9.4(c), no sex y other state's law illage, its officials, law or in equity it
Dan Barton	7/30/2021		
Signature of Applicant		Date	
Dan Barton			
Printed Name of Applicant			



APPLICATION FOR "EVENT" LIQUOR PERMIT

TO:

The Liquor Commissioner of the Village of Algonquin, Illinois

(PLEASE TYPE OR PRINT ALLINFORMATION)

The undersigned applicant, being duly sworn on oath, makes application for a Liquor Permit in the Village of Algonquin, as follows:

The	address	s of the applicant is: 100 S. Hubbard St.	
		Algonquin, IL.	
		60102	
The		nd address of officer or agent for the applicant is: <u>Daniel Barton</u>	
		Algonquin, IL. 601	
A.	The a	applicant is presently: (Complete all applicable parts)	
	(1)	ClassLicensee in the Village; License No	
	(2)	Nonprofit organization, registered with the State of Illinois	
	(3)	Other type of organization: Please specify	
	(4)	(i.e., Fraternal, Educational, Civic, Political, Religious) Provide Illinois Department of Revenue Tax Exempt Number and/or Ill	
	(' /	Business Tax Number assigned to your organization	
B.		description and location of premises or place of business which is to be ated under the proposed permit:	
	•	Algonquin's Oktoberfest at St Margaret Mary	
C.	The	date(s) and hours of operation requested under the proposed permit are: eptember 18th 1 pm to 10:30pm	
	September 19th 11:30pm to 6:30pm		

5. BASSET Training Required: Successful completion of a BASSET program, or other similar program as approved by the Chief of Police, is require for at least one person coordinating and responsible for the responsible sale of alcoholic liquor during the event. Such person

	shall be present at the point of liquor sales at all times for the duration of the event. Person holding the BASSETT Certificate: <u>Dan Barton</u>
Photoc applica	copies of a valid certificate of completion of a BASSET program shall be included with the ation.
6.	The applicant hereby files <u>Certificates of Insurance</u> , certifying that the applicant has in force and effect insurance as follows:
	 Liquor Liability Insurance of not less than \$1,000,000.00 per occurrence and \$2,000,000.00 annual aggregate and;
	 General Liability Insurance in an amount not less than \$1,000,000.00 per occurrence and \$2,000,000.00 annual aggregate.
	The Insurance Certificates must name the Village of Algonquin as Additional Insured.
	"Host Insurance" shall not satisfy the requester defined above.
7.	The applicant herewith submits the appropriate permit fee, in the amount of: \$, as set forth in the Liquor Control and Liquor Licensing Ordinance of the Village of Algonquin.
	The applicant agrees to comply with all ordinances of the Village of Algonquin and the Laws of the State of Illinois.
	Applicant: St Margaret Mary
	Signed By:
	Officer or Agent: <u>Ďan Barton</u>
	Daytime Phone:
	Extension:
Subscr	ibed and Sworn to before me this 30 day of July , 2031
	(Notary Public)
Му Сог	mmission expires Declarber 03, 20 03.
SEAL	"OFFICIAL SEAL" MARY C FISHER Notary Public - State of Illinois My Commission Expires December 03, 2023

BASSET Card

DAN BARTON 5 BEDFORD CT.

ALGONQUIN IL 60102



May 1, 2019

Letter ID: L2050883696

License No.:

5A-0110606

Expiration Date:

4/22/2022

License Type:

Basset Card

Your "Student ID number" is: 13390955

Your "Trainer's ID number" is: 5A-0110606

Your BASSET Card is located BELOW

DO NOT throw away this letter as you will need your "Student ID number" directly above to re-print your card.

IMPORTANT:

To re-print your card, visit the Illinois Liquor Control Commission website at ILCC.illinois.gov (click on the RESOURCES tab to access the "BASSET Card Lookup" page).

ILLINOIS LIQUOR CONTROL COMMISSION

100 W. Randolph Street, Suite 7-801 - Chicago, IL 60601 BEVERAGE ALCOHOL SELLERS AND SERVERS EDUCATION AND TRAINING [BASSET] CARD

Date of Certification: 4/22/2019 Expires: 4/22/2022

Trainer's IL Ligury License Number: 5A-0110606

DAN BARTON

5 BEDFORD CT.

ALGONQUIN IL 60102

Card is not transferrable



Village of Algonquin

The Gem of the Fox River Valley

DATE: August 4, 2021

TO: Committee of the Whole

FROM: Mike Darrow, Community Development

SUBJECT: Public Event/Entertainment License Application – Algonquin Harvest Market

Jennifer Chanda, on behalf Algonquin Rotary Club is seeking approval of a public event/entertainment license for the Algonquin Harvest Market event which benefits our local Rotary Club. The event is scheduled for Saturday, September 25, 2021 from 9:00 AM to 4 PM.

This is a repeat event which has been occurring since 2017. The goal of the event is to provide the community with a day to purchase local goods, listen live music and support local businesses. The organizers intend to follow all IDPH and CDC guidelines for the event. Additionally, organizers will be sanitizing facilities throughout the day.

The organizers are proposing to close down Main Street from 2:00 am to 6:00 pm on September 25, 2021. Organizers are proposing the following as part of their plan:

- The event is open to the public
- Food and beverage vendors will be responsible for their own permit
- The organizers are responsible for ordering port-a-potties and handwashing stations
- Parking is proposed using community parking lots and street parking. The organizers are also working with St. John's Lutheran Church for permission to use their lot for vendor and community parking on the day of the event.
- Entertainment stages are planned for the west and east entrances to Main Street

Staff have reviewed the request and recommend approval with the following conditions as outlined in the attached Event Permit.

Approval contingent upon the following:

• The Algonquin Harvest Market shall abide by all provisions of the Algonquin Municipal Code with specific attention to the Public Event/Entertainment section along with all

provisions/requirements of the Public Event/Entertainment License Application checklist and the application provided.

- Temporary Food Service permit(s) shall be obtained from the McHenry County Health Department by all food vendors and the necessary inspections shall be allowed.
- The required electrical and fire inspections shall be allowed to be conducted by Village and Fire Department staff.
- Local restaurants may sell alcohol and patrons will be permitted to walk the event area. Wristbands will be required if carrying alcohol and the cost of all wristbands shall be borne by the Rotary Club.
- In the event of unfavorable weather conditions, the tent area(s) shall be vacated if there is a severe thunderstorm, if there is a tornado warning/watch issued or in the case of high winds or gusts in excess of 40 mph.
- Prior to commencing any of the activities approved by the public event permit, the applicant, at no expense to the Village, shall obtain and file with the Village, no less than 30 days prior to the event, evidence that its insurance meets the minimum requirements.
- Final site and circulation plans are subject to review and approval by CD Staff, Police, Fire, and Public Works as needed.
- The kids corner area must maintain appropriate social distancing standards. There will be no bounce-house or inflatable play areas allowed for this event.
- Documentation of insurance for the event as well as an electrical building permit must be submitted prior to formal approval.
- Main Street will be closed from 6:00 am to 6:00 pm for this event.
- All trash and clean-up must be completed by 6:30 pm the day of the event.
- Special event permit fees must be paid prior to the event.





In order for the Village of Algonquin to assist you with your Public Event, please fill out the information below and return to Diane LaCalamita at the Ganek Municipal Center (2200 Harnish Drive or dlacalamita@algonquin.org) at least 45 days prior to the event.

Please type or print legibly.
Official Name of the Event: HAVEST FEST.
Sponsoring Organization: Name: 1710 Drawin Rother Charles Address: P.O. Box /// Algonauly, 12 60102 City, State, ZIP: Phone:
Event Coordinator: Name: Jennifer Chandra Home Address: P-O. BD+ 111 City, State, ZIP: A Lambuin. 14 60102 Phone: Email:
Event Information:
Describe the Nature of the Event: CRAFT FAIR - FARMENS MANKET
New EventRepeat Event If repeat, will anything be different this year?
Event Address: Main St. Algonain
Rain Date(s), if applicable: Set-Up Date/Time: 9 25 21
Maximum Number of Attendees/Participants Expected:
Admission Fee: Yes NoX_ If Yes, list fee(s) to be charged:
How will the revenue be used (include donations to non-profit or charitable organizations):
Algonavin Rotary Charities
*

No Seuritz needed.	
Describe parking or traffic control, including the location of extra parking and the number of spaces allocated, a parking will be handled:	
Public well PARK is Public Parking	
Spaces-	
Will there be a need for road closures? Yes No If Yes, please explain: S	<u> </u>
162 - washing ton ST.	
Are you requesting Algonquin Police Officer(s) presence? Yes No If Yes, to perform what func	ction?
Do you want a fire truck or ambulance present? YesNo No L If Yes, for what hours and to perform	what function?
Do you want a fire truck or ambulance present? Yes No No L If Yes, for what hours and to perform	what function?
Are you wishing to post temporary sign(s) announcing the event? Yes No If Yes, please described date(s) that the signage will be displayed:	ibe desired size, location
Are you wishing to post temporary sign(s) announcing the event? Yes No If Yes, please described date(s) that the signage will be displayed:	ibe desired size, location
Are you wishing to post temporary sign(s) announcing the event? Yes No If Yes, please describe and date(s) that the signage will be displayed: \(\tau \times \tau \tau \tau \tau \tau \tau \tau \tau	ibe desired size, location
Are you wishing to post temporary sign(s) announcing the event? Yes No If Yes, please described and date(s) that the signage will be displayed: Yard Signs Varius Locations in Alymquin.	ibe desired size, location
Are you wishing to post temporary sign(s) announcing the event? Yes No If Yes, please described and date(s) that the signage will be displayed: Yard Signs Varius Locations in Alymquin.	ibe desired size, location
Are you wishing to post temporary sign(s) announcing the event? Yes No If Yes, please described and date(s) that the signage will be displayed: Vard Signs Locations	 ibe desired size, location كــــــــــــــــــــــــــــــــــــ
Do you wish to serve alcoholic beverages? Yes No	ibe desired size, location

	(s), etc.):	
Do you plan on holding a raffle during this event?	Yes No No	
(Must be an Algonquin-based, non-profit organizat		
Name of on-site contact during the event (please pr	wint dennifer Chandra	
On-site contact's cell number:		
On-site contact's work number:	Saus	
On-site contact's home number:	<i></i>	
Affidavit of Applicant:		
	f the above noted organization, swear or affirm that the matters stated in the	foren
application are true and correct upon my personal k	knowledge and information for the purpose of requesting the Village of Al	gonasi Sanas
ssue the permit herein applied for, that I am qualif	fied and eligible to obtain the permit applied for and agree to pay all fees,	to me
equirements of the Algonquin Village Code, and	any additional regulations, conditions, or restrictions set forth in the per	mit a
	, the State of Illinois, and the United States of America in the conduct of	the Pu
comply with the laws of the Village of Algonquin,	ertifies by signing the application, that pursuant to 720H CS 5/11-9.40	
Event described herein. In addition, Applicant cer	orthos, by signing the approximation, that, pursuant to 7201003 3/11-7.4	(c), no
Event described herein. In addition, Applicant centification of the carnival operator, a	and that no carnival employees are fugitives from Illinois or any other s	state's
Event described herein. In addition, Applicant celeffenders are employed by the carnival operator, a enforcement agencies. I (or the above named organical contents agencies).	and that no carnival employees are fugitives from Illinois or any other sanization) further agree(s) to hold harmless and indemnify the Village, its	state's s offic
Event described herein. In addition, Applicant ceroffenders are employed by the carnival operator, a enforcement agencies. I (or the above named organ employees and successors and assigns, for any and	and that no carnival employees are fugitives from Illinois or any other sanization) further agree(s) to hold harmless and indemnify the Village, its dall liability, damages, suits, claims and demands for damages at law or i	state's s offic n equ
Event described herein. In addition, Applicant ceroffenders are employed by the carnival operator, a enforcement agencies. I (or the above named orga employees and successors and assigns, for any and neurs as a result and arising either directly or indirectly.	and that no carnival employees are fugitives from Illinois or any other sanization) further agree(s) to hold harmless and indemnify the Village, its	state's s officing
Event described herein. In addition, Applicant ceroffenders are employed by the carnival operator, a enforcement agencies. I (or the above named organ employees and successors and assigns, for any and	and that no carnival employees are fugitives from Illinois or any other sanization) further agree(s) to hold harmless and indemnify the Village, its dall liability, damages, suits, claims and demands for damages at law or i	state's s officing
Event described herein. In addition, Applicant ceroffenders are employed by the carnival operator, a enforcement agencies. I (or the above named organ employees and successors and assigns, for any and neurs as a result and arising either directly or indirectly.	and that no carnival employees are fugitives from Illinois or any other sanization) further agree(s) to hold harmless and indemnify the Village, its dall liability, damages, suits, claims and demands for damages at law or i	state's s officinequ

Printed Name of Applicant

Indemnification, Waiver and Release

To be signed by all: applicant, sponsor, organizer, promoter and permitee/licensee.

The Permittee/Licensee shall indemnify and hold harmless the Village, its officers, boards, commissions, agents, elected, elected officials, and employees (collectively, "the Village Indemnitees") from any and all costs, demands, expenses, fees and expenses, arising out of: (a) breach or violation by the Permittee/Licensee of any of it certifications, representations, warranties, covenants or agreements in its application and permit/license issued by the Village; (b) any actual or alleged death or injury to any person, damage to any property or any other damage or loss claimed to result in whole or in part from the negligent performance by or on behalf of the Permitee/Licensee; or (c) any negligent act, activity or omission of permittee or an or its employees, representatives, subcontractors or agents.

The Permitee/Licensee agrees to indemnify, defend and hold harmless the Village Indemnitees against and from any and all losses, claims, demands, causes of action, actions, suits, proceedings, damages, costs and/or liabilities of every kind and nature, whatsoever (including, but not limited to expenses for reasonable legal fees, and disbursements and liabilities assumed by the Village in connection therewith), to persons or property, in any way arising out of or through the acts or omissions of the Permitee/Licensee, its servants, agents or employees, or to which the negligence of the Permittee/Licensee shall in any way contribute.

Permitee/Licensee hereby waives and releases all claims against the Village Indemnitees or arising out of the issuance of a permit to Permitee/Licensee for any and all injuries to persons or damage to property from any cause arising at any time during the event listed herein or the issuance of the Permit/License.

The term "Permittee/Licensee" refers to the applicant, as well as any sponsor, organizer, promoter of the event. Each undersigned represents and warrants that he/she has authority to execute this Indemnification, Waiver and Release Agreement on behalf of the person or entity for which he/she has signed.

Permittee/ Licensee: Algonain Rotan	Club.
Circle all	
that apply: Applicant Sponsor Organizer Promo-	ter
By: Robert J. Hucking	
[Priht] Qui	
[Signature]	
Date: 8 3 2021	na-cada

Community Event





LOCAL FOOD, FUN & CRAFTERS

SEPTEMBER 25, 2021 from 9AM - 4PM

Historic Downtown, Maint Street, Algonquin, IL SET UP: 7:00am – 8:45am TEAR DOWN: 4:00pm – 5:30pm

The Algonquin Harvest Market is a community event the club has put on every year since 2017 with the exception of last year due to COVID. The goal of the event is provide the community and surrounding areas with a day to get fresh air, purchase local goods, listen to music, eat and drink, provide a family friendly event with activities for the kids, and most importantly, bring people downtown to help local businesses. The Algonquin Harvest Market is also one of the main fundraisers for the Algonquin Rotary Club, which all proceeds of the event go to our charitable fund (501C3) and are used to help local organizations, businesses and community projects

The Algonquin Harvest Market will include a wide variety of vendors including farm fresh produce and crafts. There will also be food, entertainment and give-a-ways. This is also a family friendly event with a kids corner that includes activities, games and more!

IMPORTANT VENDOR/SPONSOR NOTES:

- 1. Show is open to artisans, crafters, farmers and vendors. (Service companies are encouraged to sign up as a Sponsor.)
- 2. Food/Beverage Vendors are responsible for getting their own permit if applicable.
- 3. Booth must be kept open for entire show.
- 4. We reserve the right to refuse space for the sale of any merchandise that does not fit our needs.
- 5. Vendors will be entitled to a refund if the event is canceled due to COVID-19.

PORT-A-POTTIES & HAND WASHING STATIONS

The Algonquin Rotary Club will be in charge of ordering handicap port-a-potties and hand washing stations to place on opposite sides of the closed street. The club will also be in charge of having someone sanitize the facilities every half hour to an hour during the event.

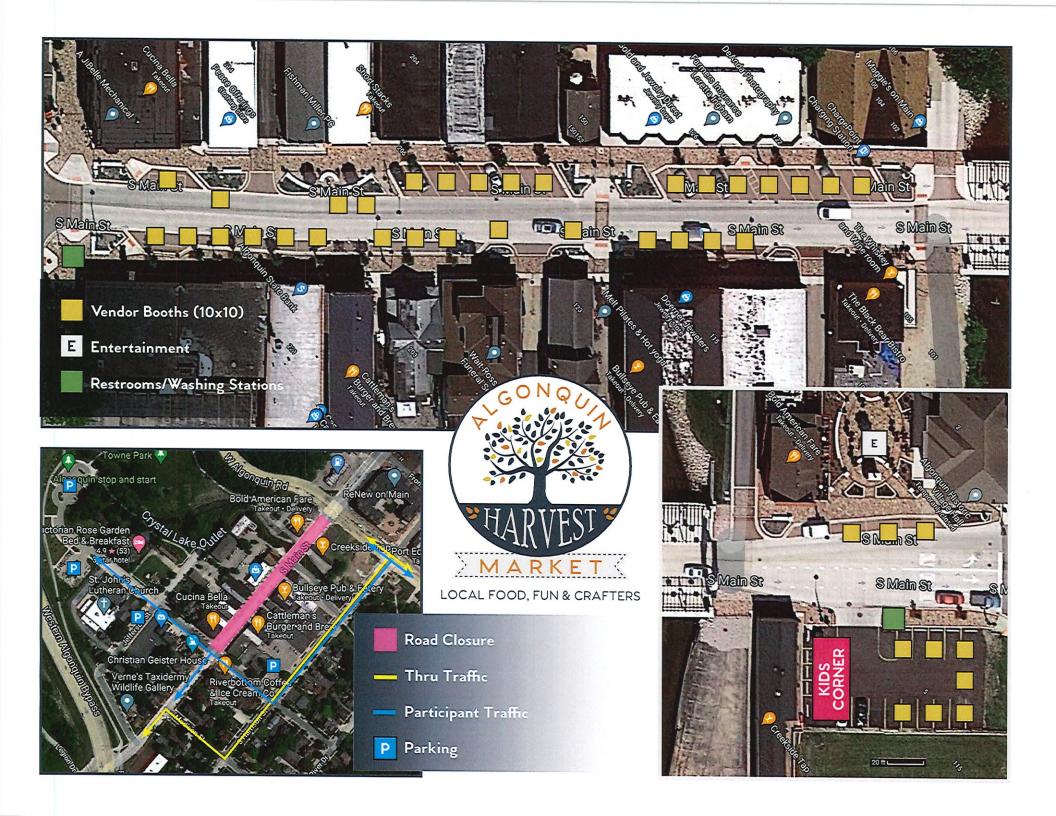
PARKING AND TRAFFIC FLOW

Parking will be available using community parking lots and street parking. The club is intending to speak with St. John's Lutheran Church for permission to use their lot for vendor and community parking on the day of the event. Please see proposed map for traffic and main parking.

ENTERTAINMENT

Entertainment is planned to be set up in the common area between Historic Village Hall and Bold American Fare. Sound equipment, such as an amp/microphone and will be set up by one of the Rotary members. Music and entertainment will be mainly acoustic and vocals with the idea of bringing in local talent for a fun yet relaxing atmosphere.

COVID GUIDELINES FOR VENDORS AND ATTENDEES: ALL vendors will follow State Required Guidlines such as wearing a mask and having a hand sanitizer at each booth (provided by the Algonquin Rotary Club). ALL attendees will be asked to social distance and wear a mask within close quarters of less than 6 feet. Safety guidelines will be posted on the website and social media to inform participants prior to the event.





VILLAGE OF ALGONQUIN COMMUNITY DEVELOPMENT DEPARTMENT

-MEMORANDUM-

Date: August 4, 2021

To: Committee of the Whole

From: Jason C. Shallcross, AICP, Community Development Director

Mike Darrow, Community Development

Re: Grand Reserve Final Plat and PUD Amendment – PZ-08-21

The Plan Commission during their meeting on July 12, 2021 heard a proposal from Forestar Group, the Petitioner, to amend the Final Plat of Subdivision and Final Planned Unit Development for the Grand Reserve Subdivision.

The Petitioner would keep the current age restrictions of the subdivision in place (55 and older), redevelop the subdivision's vacant lots with new age-restricted detached single-family homes, and provide several public improvements including a new bicycle path, benches, a gas fire place, and additional naturalized stormwater areas.

The proposal would reduce the planned dwelling units for the subdivision from 238 dwelling units to 178. No more town homes or quads would be constructed if approved as all vacant lots would be utilized to construct 128 new detached single-family homes. If approved, the project would generate more than \$1 million in new tax revenues for area taxing bodies.

After conducting a public hearing, the Plan Commission approved the Petitioner's requests by a 4-0 vote, subject to the conditions listed in the staff report.

VILLAGE OF ALGONQUIN - 2200 Harnish Drive, Algonquin, IL 60102

STAFF REPORT FROM THE DEPARTMENT OF COMMUNITY DEVELOPMENT

Jason C. Shallcross, AICP
Director of Community Development

Mike Darrow
Community Development

Date: June 24, 2021

Case Number:

PZ-08-21

Applicant: Property Owner:

Forestar Group / Grand Reserve Algonquin

Property Address/Location:

(See legal description/map below)

Public Hearing Date:

July 12th, 2021

Brief Summary of Request and Background

Representatives of Forestar Group, the Petitioner, applied for a Final Plat of Subdivision and a Final Planned Unit Development Amendment for the Grand Reserve subdivision referred to herein as the "Subject Property".

Staff supports the Petitioner's request, subject to the conditions listed, as the subject property is adjacent to other one family dwelling units in the R-1E District, multifamily dwelling units in R-4 District, and because the proposal is consistent with the current zoning district.





Existing Zoning R-1E, One Family Dwelling District Existing Land Use/Improvements
Detached Single-family &
Medium Density Residential

Surrounding Zoning & Land Use
North: R-1F | Single Family Residence

North: R-1E | Single Family Residence 149 ac

East: B-1, R1-E, R-4 | Business, Single Family, Multi Family

South: R-4 | Multi Family Residence West: R1-E | Single Family Residence

Staff Recommendation Summary

Approve with Conditions

Property Size

Discussion of Staff Recommendation

The Forester Group, the Petitioner, applied for a Final Plat of Subdivision and a Final Planned Unit Development Amendment for the Grand Reserve referred to herein as the "Subject Property". The original plat was presented to the Village and approved as Ordinance No. 2002-0-66 which included age-based restrictions on ownership of residential units within the subdivision. All housing units in the previous development (with the exception of one dwelling unit set aside for a Lenore Eineke or her decedents as set forth in the Annexation Agreement, as amended) will be subject to age restriction covenants in compliance with the Federal Housing for Older Persons Act (the "Act"), such that the units must be occupied by at least one person 55 years of age or older (with limited exceptions as provided by the Act and set forth in the restrictive covenants). The Petitioner is committed to keeping the community age restricted to those 55 years old and older and is seeking to improve the area with additional landscaping and hardscape features like benches, decorative pavers, and a community fireplace.

In addition to discussions with staff, the Petitioner held a neighborhood meeting on Wednesday, April 14th 2021 in which the homeowner's association (HOA) was presented with proposed HOA changes, plat amendments, and provided time to ask questions of the Petitioner. Community Development staff were present for the open house meeting, which approximately 30-40 people attended.

The Petitioner is seeking approval of an amendment to Ordinance No. 2003-O-59, the original approving ordinance of a Final Plat of Subdivision and Final Planned Unit Development amendment for the Subject Property. The originally approved plat provided for 238 homes. Section 21.11 outlines the parameters for Planned Unit Developments within the Village. The existing and proposed conditions are described in more detail below:

	Existing	Proposed
Impervious Coverage	549,324 sf.	452,622 sf.
Total Dwellings	238	178
Newley Dedicated Lots		7 (4 Dedicated to HOA and 3 to Village)
Single Family Homes	17 (with 1 lot sold)	146
Town Homes / Quads	24 / 8	24 / 8
Age Requirement	55 and older	55 and older

In addition to the changes highlighted above, the Petitioner also worked with our Community Development and Public Works team to address flooding issues within this area. As part of this collaborative process, the Petitioner no longer plans to develop lots previously approved for development due to their proneness to flooding. Removed lots are located in the southwestern and northwestern areas of the subdivision and highlighted on the Original Layout and the Final Plat of Resubdivision Exhibit dated 5.19.21 hereto attached.

Overall, staff supports the Petitioner's request for an amendment to the Final Plat and Final Planned Unit Development based upon the following findings of fact:

- The overall development is a reduction of impervious surface coverage
- The overall age requirements will remain as previously approved
- The overall development's density will be reduced
- The overall site design will reduce flooding issues
- The proposed final plat meets the conservation design standards of Section 21.11 of the Village Code
- Staff does not believe that the proposed amendment will have a negative impact on surrounding properties or harm the general welfare of the public in any way.

Staff Recommendation

Staff finds that the standards for a Planned Unit Development have been met. Based on these findings, staff recommends that the Planning and Zoning Commission make a motion to adopt staff's findings as the findings of the Planning and Zoning Commission and recommend <u>approval</u> of the following motion:

- 1. "To approve an amendment to the Final Plat and Planned Unit Development for the Grand Reserve as outlined in the staff report for case PZ-08-21, subject to the following conditions:
 - a. The final plat shall be recorded with the county prior to issuance of the first Certificate of Occupancy;
 - b. The Petitioner shall adhere to the conditions outlined in the Village Engineer's report dated June 28, 2021;
 - c. The Petitioner shall enter into a development agreement with the Village to address street and infrastructure improvements; and
 - d. All escrow and fees must be paid prior to the issuance of a building permit"

The Village Board's decision is final for this case.

Attachments:

Administrative Content
Application and Engineering Comments

PlansEngineering plans and plat

I concur:

Jason C. Shallcross, AICP

Director of Community Development

x:\cdd\economic development + planning\commissions + events\planning and zoning commission\2021\staff reports\pz-08-21 Grand Reserve.docx



CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 West Higgins Road Suite 600 Rosemont, Illinois 60018 TEL (847) 823-0500 FAX (847) 823-0520

June 28, 2021

Village of Algonquin 2200 Harnish Drive Algonquin, IL 60102

Attention: Jason Shallcross, Director of Community Development

Subject: Grand Reserve 2021– SECOND REVIEW

Algonquin Case No.

(CBBEL Project No. 07-0272.0039A)

Dear Jason:

We have reviewed the following documents related to the aforementioned project:

- Final Engineering Plans prepared by Atwell Group bearing a revision date of June 18, 2021
- Final Plat of Subdivision of Grand Reserve Resubdivision prepared by V3 bearing a revision date of June 18, 2021
- Comment Response Letter prepared by Atwell Group dated June 21, 2021
- Engineer's Opinion of Probable Construction Cost prepared by the Atwell Group bearing a revision date of June 21, 2021
- Landscape Plans prepared by Gary R. Weber & Associates, Inc. bearing a revision date of June 18, 2021

It is our understanding that this project will be presented to the Plan Commission in the near future. The comments in this letter reflect the input from the Department of Public Works provided June 28, 2021. The following deficiencies need to be addressed before Christopher B. Burke Engineering, Ltd. can recommend approval of final engineering to the Village:

FINAL ENGINEERING PLANS

Sheet C03.5

1. PREVIOUS COMMENT PARTIALLY ADDRESSED The engineer shall revise the abandonment of existing Village utilities in accordance with the markup provided by Village staff (typical to sheets C03.5 and C03.6). The sanitary sewer manhole requested by the Department of Public Works in the markup they provided was not included with the revised plans.

Sheet C06.5

- 2. PREVIOUS COMMENT PARTIALLY ADDRESSED The footprint of the proposed home on lot 128 is bisected by the boundary of the A Zone. The house should be removed unless the engineer can provide a justification for it. If the home is to remain, the engineer will need to specify the site specific BFE and provide the required 2' flood protection for the lowest entry level of the habitable space. We acknowledge the response from the engineer that further investigation work with the Village is underway to determine the site's BFE to determine if a home can be constructed.
- 3. PREVIOUS COMMENT NOT ADDRESSED The open land destined to be Outlot 6 contains an existing swale that has become overgrown with invasive species and does not drain well. The overland flow from the south is eventually collected in the flared end section north of lot 126 after making an inefficient right-angle turn. It is the preference of Village staff that a storm sewer along the rear yards of lots 126 through 121 be constructed to collect the overland flow and direct it northward to the existing storm sewer. It is also their preference that the swale be filled in and graded smoothly down to the bike path. We acknowledge that the grading options are limited the farther north one goes due to the presence of floodplain. The engineer neither installed the requested storm sewer nor made any grading changes to the existing swale. We were not Village Engineer's when the original development was permitted but believe the Department of Public Works has access to the approved plans and stormwater permitting documents. It is our understanding that the swale was constructed as part of the development in upland areas and would not be considered a Corps' jurisdictional waterway. That being said, the engineer will need to prepare a letter, including applicable photographs and plan exhibits, and send it to the Corps to obtain their concurrence in that determination.

Sheet C06.6

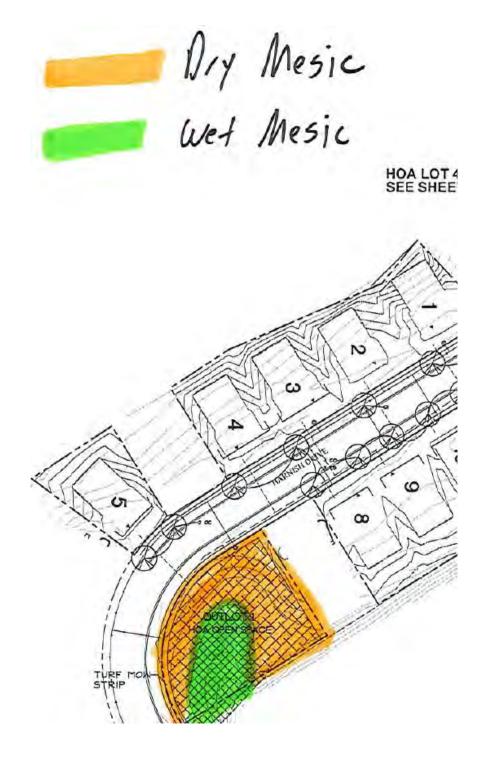
4. PREVIOUS COMMENT PARTIALLY ADRESSED The developer shall extend the proposed bike path to the west curb line of Boyer Road, provide a full ADA-compliant protected bike path crossing to the northeast corner of the Boyer Road-County Line Road intersection. The existing sidewalk shall be removed and replaced with a bike path. Another ADA-compliant protected bike path crossing shall be made to the southeast corner of the same intersection and connection made to the existing bike path in the vicinity. The crossing has been shown in concept on the plan sheet and we acknowledge the response from the engineer that additional field work and engineering is required for the final engineering submittal which will include this work.

LANDSCAPE PLAN

Sheet 2

5. The labeling on Outlot 1 should be revised to note that it will be called Outlot 3 after the subdivision is passed and that the land will be dedicated to the Village and not owned by the HOA.

6. The planting mixes for the Outlot above shall be as depicted in the plan markup from the Department of Public Works (see following page). The use of North American Green erosion control blanket model S75BN shall be specified for this area.



Sheet 9

7. The detail for the natural area signage shall be deleted from the sheet as the Village has its own sign and they will be responsible for purchasing and installing them.

- 8. The legend on the plan sheet shall be revised so that they reference the two seed mixes on the same plan sheet.
- 9. The use of North American Green erosion control blanket model S75BN shall be specified for use on both naturalized areas.
- 10. A wooden split rail fence shall be installed along the rear lot lines of lots 121 thru 130 as well as the north side yard of lot 130 to prevent encroachment into the natural areas by the future homeowners. A detail for the fence will need to be added to plan sheet 8.
- 11. The attached specifications for natural seeding should be added to this plan sheet.

FINAL PLAT OF SUBDIVISION

Sheet 3

12. PREVIOUS COMMENT PARTIALLY ADDRESSED. It is noted on sheet C02.5 of the final engineering plans that a blanket easement exists over the properties at the southeast quadrant of the Harnish Drive-Lenore Lane that is not shown on this plat (Documents 2004R0049463 and 2004R0055483). Will these blanket easements be vacated? We acknowledge the response from the engineer and the labeling on the plat sheet, but the boundary of the blanket easement being vacated could be depicted better; possibly by shading the footprint of the easement to be vacated or the use of additional sheets to depict the same information.

Sheet 4

13. PREVIOUS COMMENT PARTIALLY ADDRESSED It is noted on sheet C02.6 of the final engineering plans that a blanket easement exists over the properties along the south side of Harnish Drive that is not noted on this plat (Documents 2004R0049463 and 2004r0055483). Will these blanket easements be vacated? We acknowledge the response from the engineer and the labeling on the plat sheet, but the boundary of the blanket easement being vacated could be depicted better; possibly by shading the footprint of the easement to be vacated or the use of additional sheets to depict the same information.

STORMWATER MANAGEMENT

14. PREVIOUS COMMENT PARTIALLY ADDRESSED Village staff has reported problems with the clogging of the two, 12-inch pipes that serve as the outfalls for the existing Grand Reserve detention basin. The site engineer shall investigate and provide a design for an inlet structure at each location that will limit the entrance of foreign materials and provide an overflow mechanism to drain the pond should the main outlet become blocked. An alternative would be to replace the two discharge pipes with a single larger pipe with inlet protection and overflow capabilities. We acknowledge the response from the engineer

that further information about the existing pond design is needed from Village staff and any changes will be presented in the final engineering plans.

ENGINEER'S OPINION OF PROBABLE CONSTRUCTION COST

15. The Opinion will need to be revised to reflect the revisions discussed earlier in this letter: the missing sanitary manholes, the missing storm sewer and swale grading, and ADA bike path crossing.

Sincerely,

Paul R. Bourke, PE CFM

Assistant Head, Municipal Department

Michael E. Kerr, PE

President

PRB/prb

N:\Algonquin\070272\070272.0039A\Admin\L1.062821.docx

SOIL PREPARATION FOR NATIVE SEEDING & PLANTING

PART 1. GENERAL

1.1 DESCRIPTION

A. PREPARATION OF SOIL PRIOR TO NATIVE SEEDING AND/OR PLANTING.

1.2 QUALITY ASSURANCE

- A. QUALIFICATIONS OF WORKMEN: PROVIDE AT LEAST ONE PERSON WHO SHALL BE PRESENT AT ALL TIMES DURING EXECUTION OF THIS PORTION OF THE WORK, WHO SHALL BE THOROUGHLY FAMILIAR WITH THE TYPE AND OPERATION OF EQUIPMENT BEING USED. SAID PERSON SHALL DIRECT ALL WORK PERFORMED UNDER THIS SECTION.
- B. STANDARDS: ALL MATERIALS, EQUIPMENT, AND PROCEDURES USED DURING THIS PORTION OF THE WORK SHALL MEET OR EXCEED APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL LAWS AND REGULATIONS.

1.3 SUBMITTALS

A. EQUIPMENT: THE CONTRACTOR SHALL PROVIDE A LIST OF EQUIPMENT AND A DESCRIPTION AND LOCATION OF ITS INTENDED USE, AND A LIST OF SAID PERSONS PERFORMING THE WORK AND THEIR QUALIFICATIONS FOR OPERATING AND MAINTAINING THE LISTED EQUIPMENT.

PART 2. PRODUCTS

2.1 MATERIALS

- A. HERBACEOUS SPECIES TO BE REMOVED IN AREAS WITHOUT STANDING WATER OR SATURATED SOILS SHALL BE TREATED WITH GLYPHOSATE, N-(PHOSPHONOMETHYL) GLYCINE, OR EQUIVALENT AS APPROVED IN WRITING BY OWNER.
- B. HERBACEOUS SPECIES TO BE REMOVED IN AREAS WITH STANDING WATER OR SATURATED SOILS SHALL BE TREATED WITH GLYPHOSATE, N-(PHOSPHONOMETHYL) GLYCINE IN A FORM APPROVED FOR AQUATIC APPLICATIONS AS APPROVED IN WRITING BY OWNER.
- C. OTHER PRODUCTS SUCH AS GRASS-SPECIFIC HERBICIDES MAY BE PROPOSED BY THE CONTRACTOR AND APPROVED IN WRITING BY THE OWNER.

PART 3. EXECUTION

3.1 METHOD

- A. PRIOR TO SEEDING/PLANTING, AREAS NOT REGRADED AND CONTAINING TURF, OLD FIELD, OR OTHER UPLAND NON-NATIVE HERBACEOUS VEGETATION SHALL BE HERBICIDED TWICE (2×) DURING THE GROWING SEASON AND LIGHTLY DISCED ONCE (1×) BETWEEN HERBICIDE TREATMENTS UNTIL 100% OF VEGETATION IS DEAD. SEEDING SHALL BE DONE NO SOONER THAN 2 WEEKS AFTER THE LAST HERBICIDE TREATMENT.
- B. PRIOR TO SEEDING/PLANTING IN AREAS WITH STANDING WATER OR SATURATED SOILS, ALL NON-NATIVE HERBACEOUS VEGETATION SHALL BE HERBICIDED ONCE (1×), DURING THE GROWING SEASON, ALLOWED TO SIT FOR AT LEAST TWO WEEKS, THEN HERBICIDED A SECOND TIME DURING THE GROWING SEASON UNTIL 100% OF VEGETATION IS DEAD. SEEDING SHALL BE DONE NO SOONER THAN 2 WEEKS AFTER THE LAST HERBICIDE TREATMENT.
- C. PRIOR TO SEEDING/PLANTING, CONTRACTOR SHALL CHECK COMPACTION OF TOPSOIL (0-6" DEPTH) AND NORMAL SUBSOIL DEPTH (6-12" DEPTH) FOR PROPER PLANTING CONDITIONS.
- D. ALL FOREIGN MATTER LARGER THAN FOUR INCHES IN ANY DIMENSION SHALL BE REMOVED FROM THE AREAS TO BE SEEDED/PLANTED.
- E. PRIOR TO SEEDING/PLANTING, AREAS DISTURBED BY CONSTRUCTION VEHICLES AND TRAFFIC SHALL BE RESTORED TO GRADE, DISCED, RAKED, AND CHECKED FOR COMPACTION.
- F. WITHIN 24 HOURS OF SEEDING/PLANTING, AREAS SHALL BE BLANKETED WITH SPECIFIED EROSION CONTROL BLANKET, STRAW MULCH, OR HYDROMULCH PER THE PLANS.

3.2 CLEAN-UP, REMOVAL AND REPAIR

- A. CLEAN UP: THE WORK AREA SHALL BE KEPT FREE OF DEBRIS BY THE CONTRACTOR. AT NO TIME SHALL TRASH OR OTHER MATERIAL BE ALLOWED TO ACCUMULATE AT THE PROJECT SITE. ALL TOOLS SHALL BE KEPT IN APPROPRIATE CARRYING CASES, TOOLBOXES, ETC. PARKING AREAS, ROADS, SIDEWALKS, PATHS, TRAILS, AND PAVED AREAS SHALL BE KEPT FREE OF MUD AND DIRT.
- B. REMOVAL: AFTER WORK HAS BEEN COMPLETED REMOVE TOOLS AND ALL OTHER DEBRIS GENERATED BY THE CONTRACTOR.
- C. REPAIR: THE CONTRACTOR SHALL REPAIR ANY DAMAGES THAT OCCURRED DURING COMPLETION OF THE WORK DESCRIBED IN THIS SECTION. SAID DAMAGES MAY INCLUDE, BUT ARE NOT LIMITED TO, TIRE RUTS IN THE GROUND, DAMAGE TO PLANTED AREAS, DAMAGE TO TRAILS, ETC. ALL AREAS DAMAGED BY THE CONTRACTOR DURING THE EXECUTION OF THIS WORK SHALL BE REPAIRED

BY CONTRACTOR AND RESTORED TO THE CONDITIONS SHOWN ON THE PLANS AT NO ADDITIONAL COST TO THE OWNER. ALL AREAS OUTSIDE OF THE CONSTRUCTION LIMITS DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO THE PRE-CONSTRUCTION CONDITIONS.

3.3 INSPECTION

A. THE CONTRACTOR SHALL SCHEDULE WITH THE OWNER A FINAL ACCEPTANCE INSPECTION OF SOIL PREPARATION.

3.4 ACCEPTANCE

A. FINAL ACCEPTANCE: THIS PORTION OF THE WORK SHALL BE CONSIDERED 100% COMPLETE AFTER THE CONTRACTOR HAS COMPLETED ALL REQUIRED CLEAN UP.

NATIVE SEEDING

PART 1. GENERAL

1.1 DESCRIPTION

A. INSTALLATION OF NATIVE SEED AS DESIGNATED ON THE PLANS.

1.2 QUALITY ASSURANCE

- A. QUALIFICATIONS OF WORKERS: PROVIDE AT LEAST ONE PERSON WHO SHALL BE PRESENT AT ALL TIMES DURING EXECUTION OF THIS PORTION OF THE WORK, WHO SHALL BE THOROUGHLY FAMILIAR WITH THE TYPE AND OPERATION OF EQUIPMENT BEING USED. SAID PERSON SHALL DIRECT ALL WORK PERFORMED UNDER THIS SECTION.
- B. STANDARDS: ALL MATERIALS AND METHODS USED DURING THIS PORTION OF THE WORK SHALL MEET OR EXCEED APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL LAWS AND REGULATIONS. ALL SEED SHALL BE FREE FROM INSECTS AND DISEASE. SPECIES SHALL BE TRUE TO THEIR SCIENTIFIC NAME AS SPECIFIED.

1.3 SUBMITTALS

A. MATERIALS: THE CONTRACTOR SHALL SUBMIT TO THE OWNER FOR APPROVAL A COMPLETE LIST OF ALL MATERIALS TO BE USED DURING THIS PORTION OF THE WORK PRIOR TO DELIVERY OF ANY MATERIALS TO THE SITE. INCLUDE COMPLETE DATA ON SOURCE, AMOUNT AND QUALITY, THIS SUBMITTAL SHALL IN NO WAY BE

- CONSTRUED AS PERMITTING SUBSTITUTION FOR SPECIFIC ITEMS DESCRIBED ON THE PLANS OR IN THESE SPECIFICATIONS UNLESS APPROVED IN WRITING BY THE OWNER. ANY SUBSTITUTIONS MADE TO THE ORIGINAL SEED LISTS SHALL BE APPROVED IN WRITING BY THE VILLAGE'S CONSULTING ECOLOGIST.
- B. EQUIPMENT: THE CONTRACTOR SHALL PROVIDE A LIST OF EQUIPMENT AND A DESCRIPTION AND LOCATION OF ITS INTENDED USE, AND A LIST OF SAID PERSONS PERFORMING THE WORK AND THEIR QUALIFICATIONS FOR OPERATING AND MAINTAINING THE LISTED EQUIPMENT.

PART 2. PRODUCTS

2.1 MATERIALS

- A. ALL GRASS SPECIES SHALL BE SUPPLIED AS PURE LIVE SEED. SEE PLAN FOR SEEDING LISTS AND QUANTITIES.
- B. SEED OF ALL SPECIES NATIVE TO ILLINOIS SHALL BE FROM WITHIN A 250-MILE RADIUS OF THE PROJECT SITE UNLESS APPROVED IN WRITING BY THE VILLAGE'S CONSULTING ECOLOGIST.
- C. NATIVE SEED MIXTURES & QUANTITIES: SEE PLAN.

PART 3. EXECUTION

3.1 METHOD

- A. PRIOR TO SEEDING/PLANTING, AREAS NOT REGRADED AND CONTAINING TURF, OLD FIELD, OR OTHER UPLAND NON-NATIVE HERBACEOUS VEGETATION SHALL BE HERBICIDED TWICE (2×) DURING THE GROWING SEASON AND LIGHTLY DISCED ONCE (1×) BETWEEN HERBICIDE TREATMENTS UNTIL 100% OF VEGETATION IS DEAD. SEEDING SHALL BE DONE NO SOONER THAN 2 WEEKS AFTER THE LAST HERBICIDE TREATMENT.
- B. PRIOR TO SEEDING/PLANTING IN AREAS WITH STANDING WATER OR SATURATED SOILS, ALL NON-NATIVE HERBACEOUS VEGETATION SHALL BE HERBICIDED ONCE (1×), DURING THE GROWING SEASON, ALLOWED TO SIT FOR AT LEAST TWO WEEKS, THEN HERBICIDED A SECOND TIME DURING THE GROWING SEASON UNTIL 100% OF VEGETATION IS DEAD. SEEDING SHALL BE DONE NO SOONER THAN 2 WEEKS AFTER THE LAST HERBICIDE TREATMENT.
- C. PRIOR TO SEEDING, CONTRACTOR SHALL CHECK COMPACTION OF TOPSOIL (0-6" DEPTH) AND NORMAL SUBSOIL DEPTH (6-12" DEPTH) FOR PROPER PLANTING CONDITIONS.

- D. SEEDING SHALL BE PREFERENTIALLY CONDUCTED IN SPRING (AS SOON AS THE SOIL IS FREE OF FROST AND IN A WORKABLE CONDITION BUT NO LATER THAN JUNE 30) OR AS A LATE FALL DORMANT SEEDING (AFTER NOVEMBER 1).
- D. ALL SEED SHALL BE PREFERENTIALLY INSTALLED WITH A RANGELAND TYPE GRAIN DRILL OR NO-TILL PLANTER, SUCH AS BY TRUAX OR EQUIVALENT, OR BROADCAST INTO A LIGHTLY TILLED SOIL SURFACE.
- E. IF SOIL IS TOO WET OR GRADE IS TOO STEEP TO INSTALL SEED, A MECHANICAL BROADCAST SEEDER, SUCH AS A CYCLONE, SHALL BE USED. HAND BROADCASTING OF SEED MAY ALSO BE EMPLOYED.
- F. WITHIN 24 HOURS OF SEEDING, SPECIFIED EROSION CONTROL BLANKET OR STRAW MULCH SHALL BE INSTALLED PER MANUFACTURES' SPECIFICATIONS AND AS SHOWN ON THE PLANS.
- G. IF AREA TO BE SEEDED WAS TREATED WITH HERBICIDE, SEEDING SHALL OCCUR NO LESS THAN 14 DAYS AFTER HERBICIDE APPLICATION.

3.2 CLEAN-UP, REMOVAL AND REPAIR

- A. CLEAN UP: THE WORK AREA SHALL BE KEPT FREE OF DEBRIS BY THE CONTRACTOR. AT NO TIME SHALL TRASH OR OTHER MATERIAL BE ALLOWED TO ACCUMULATE AT THE PROJECT SITE. ALL TOOLS SHALL BE KEPT IN APPROPRIATE CARRYING CASES, TOOLBOXES, ETC. PARKING AREAS, ROADS, SIDEWALKS, PATHS, TRAILS, AND PAVED AREAS SHALL BE KEPT FREE OF MUD AND DIRT.
- B. REMOVAL: AFTER WORK HAS BEEN COMPLETED REMOVE TOOLS AND ALL OTHER DEBRIS GENERATED BY THE CONTRACTOR.
- C. REPAIR: THE CONTRACTOR SHALL REPAIR ANY DAMAGES THAT OCCURRED DURING COMPLETION OF THE WORK DESCRIBED IN THIS SECTION. SAID DAMAGES MAY INCLUDE, BUT ARE NOT LIMITED TO, TIRE RUTS IN THE GROUND, DAMAGE TO PROTECTED TREES OR OTHER PLANTING AREAS, DAMAGE TO TRAILS, ETC. ALL AREAS DAMAGED BY THE CONTRACTOR DURING THE EXECUTION OF THIS WORK SHALL BE REPAIRED BY THE CONTRACTOR AND RESTORED TO THE CONDITION SHOWN ON THE PLANS AT NO ADDITIONAL COST TO THE OWNER. ALL AREAS OUTSIDE OF THE CONSTRUCTION LIMITS DISTURBED BY CONSTRUCTION SHALL ALSO BE RESTORED.

3.3 INSPECTION

- A. THE CONTRACTOR SHALL SCHEDULE WITH OWNER A PROVISIONAL ACCEPTANCE INSPECTION OF THE WORK.
- 3.4 ACCEPTANCE AND GUARANTEE (PERFORMANCE STANDARDS)

- A. PROVISIONAL ACCEPTANCE: THE WORK SHALL BE CONSIDERED 90% COMPLETE AFTER ALL SEED HAS BEEN INSTALLED AND THE CONTRACTOR HAS COMPLETED ALL REQUIRED CLEAN UP, REMOVAL, AND REPAIR.
- B. FINAL ACCEPTANCE: THE WORK SHALL BE CONSIDERED 100% COMPLETE AFTER THE CONTRACTOR HAS MET OR EXCEEDED THE PERFORMANCE STANDARDS.
- C. PERFORMANCE STANDARD: THE CONTRACTOR SHALL GUARANTEE SEEDED AREAS WILL MEET OR EXCEED THE FOLLOWING PERFORMANCE CRITERIA THREE FULL GROWING SEASONS AFTER PROVISIONAL ACCEPTANCE: 80% TOTAL (AERIAL) PLANT COVER AND AT LEAST 60% RELATIVE COVER BY SEEDED AND/OR PLANTED NATIVE SPECIES IN EACH NATIVE PLANT COMMUNITY. IN ADDITION, NON-NATIVE AND/OR INVASIVE NATIVE SPECIES SHALL COLLECTIVELY NOT COMPRISE GREATER THAN 30% RELATIVE COVER IN EACH NATIVE PLANT COMMUNITY. OPPORTUNISTIC INVASIVE/NON-NATIVE SHRUBS AND TREES SHALL NOT EXCEED 5% OF ANY PLANT COMMUNITY.
- D. REMEDIAL ACTION: IF SEEDED AREAS FAIL TO MEET THE TERMS OF THE GUARANTEE, THE CONTRACTOR WILL DEVELOP A REMEDIAL ACTION PLAN THAT TAKES INTO CONSIDERATION THE SITE GOALS AND SPECIFIC DEFICIENCIES. THE CONTRACTOR WILL SUBMIT THE REMEDIAL ACTION PLAN TO THE OWNER FOR APPROVAL THEN IMPLEMENT THE REMEDIAL ACTION PLAN AND SUBMIT A REPORT THAT DESCRIBES THE REMEDIAL ACTION TAKEN. CONTRACTOR WILL NOT BE REQUIRED TO PERFORM ADDITIONAL REMEDIAL SEEDING/PLANTING FOR A MINIMUM OF TWO GROWING SEASONS.



VILLAGE OF ALGONQUIN DEVELOPMENT APPLICATION

OFFICE USE ONLY

Please type or print legibly CASE #____

COMPLETION OF THIS APPLICATION SATISFIES THE REQUIREMENT OF FILING A PETITION IN MATTERS BEFORE THE PLANNING AND ZONING COMMISSION

PRO	JECT TITLE: Algonquin, IL Grand Reserve Subdivision		
ACT	ION REQUESTED:		
	Annexation (annexation petition required)		Variation
	Amendment to the Zoning Ordinance		Preliminary Plat of Subdivision
	Appeal	V	Final Plat of Subdivision
	Re-Zoning		Preliminary Planned Unit Development
	Special Use Permit		Final Planned Unit Development *Amendment*
	Other:		
PET]	ITIONER:	OWN	NER (IF DIFFERENT):
NAM	Forestar Group Inc.	NAM	E: Grand Reserve Algonquin LLC c/o Arthur G. Kielty
	RESS: 750 Bunker Court, Suite 500, Vernon Hills, IL 60061	ADD	RESS: 2902 McFarland Road, Suite 400
		Rockf	ord, IL 61107
РНО	NE: (847) 984-4891	PHO	NE: (815) 987-4050
FAX	:	FAX:	
PRO	PERTY INFORMATION:		
Gene	ral Description of Project (attach all required plan	s and speci	ifications). Development of 128 Single Family Residential Lots
	the Grand Reserve Subdivision. Final Plat of Subdivision and Final Engineering Plan		
_		_	
Gene	ral Location (attach legal description): Southwest Corn	er of Harnish Dr	ive & Eineke Blvd. Legal Description is attached to the application.

Property ID Number (PIN): Multiple PIN's (see att	ached).
Comprehensive Plan Designation: Medium Density	y Suburban Residential
Zoning: Current R-1E Planned Unit Dev. (PUD)	D 45 DI 111 '15 (DUD)
Use: Current Undeveloped SF/Duplex/MF	Cinale Family
Site Area: Gross 27.4 Acres	07 4 4 0000
No. of Lots Proposed 128	
DEVELOPMENT TEAM: (Include Company, Co	
Developer: Forestar Group, Inc., David Hollande	er, Phone (810) 623-8935
Architect:	
Attorney: Rosanova & Whitaker, Michaelene M.	. Burke, Phone (630) 355-4600
Engineer: Atwell, LLC, Brian A. Styck, P.E., Pho	one (630) 577-0800, Fax (630) 577-0900
Landscape Architect: Gary R. Webber Associates, Inc., N	Monica Goshorn-Maroney, Phone (630) 668-7197, Fax (630) 668-9693
Planner:	
Surveyor: V3 Companies, Edward Murray, Pho	
Other:	
SIGNATURES: As owner of the property, I hereb Owner agrees to and does hereby grant to the Villag the purpose of taking video and pictures of the	by authorize the seeking of the above requested action. The ge permission to go upon or over any part of the Property for site and construction activities. This grant of permission nanned aerial vehicle to capture images of the Property.
Jeffrey & Petry	5-4-2021
Signature of Owner	(Date)
By: P.I Manager, LLC, its Manager, By: Petry Trust No. 1999, its Manager, Jeffrey G. Petry, Trustee TEFFICE PETRY Print Name of Owner	_
and What.	05.05.2021
Signature of Petitioner (if different from owner)	(Date)
David K. Hollander, Real Estate Investment & Development Director Midwest Division	
Print Name of Petitioner	

NOTE: If the subject property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter, which names all beneficiaries of the trust.

PIN: 19-31-327-020 19-31-327-021 19-31-327-023 19-31-327-024 19-31-327-025 19-31-327-026 19-31-327-027 19-31-327-028 19-31-327-029

19-31-327-030 19-31-327-031

19-31-327-032

19-31-327-033

19-31-327-034 19-31-327-035

19-31-327-036

19-31-327-037

19-31-328-001

19-31-328-002

19-31-328-003

19-31-328-004 19-31-328-007

19-31-328-008

19-31-329-001

19-31-329-002

19-31-329-003

19-31-329-004

19-31-330-001 19-31-330-002

19-31-330-003

19-31-330-004

19-31-376-001

19-31-376-002

19-31-376-003

19-31-376-004

19-31-376-005

19-31-376-006

19-31-376-007

19-31-376-008

19-31-376-009

19-31-377-001

19-31-377-002

19-31-377-003

19-31-377-004

19-31-377-005

19-31-377-006

19-31-377-007

19-31-377-008

19-31-378-001

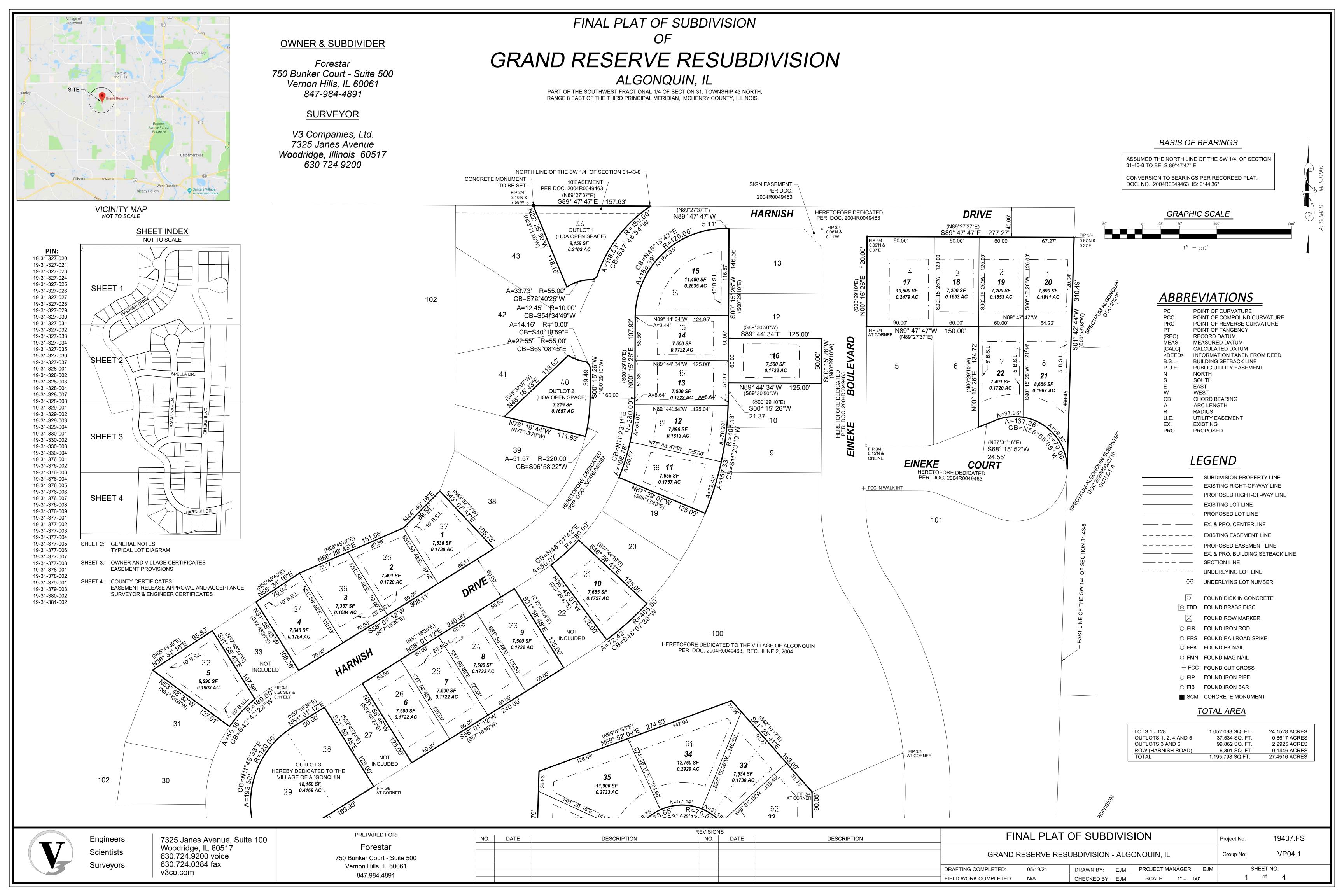
19-31-378-002

19-31-379-001

19-31-379-003

19-31-380-002

19-31-381-002



FINAL PLAT OF SUBDIVISION GRAND RESERVE RESUBDIVISION ALGONQUIN, IL PART OF THE SOUTHWEST FRACTIONAL 1/4 OF SECTION 31, TOWNSHIP 43 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, MCHENRY COUNTY, ILLINOIS. BASIS OF BEARINGS 7,500 SF 0.1722 AC ASSUMED THE NORTH LINE OF THE SW 1/4 OF SECTION 31-43-8 TO BE: S 89°47'47" E 7,500 SF CONVERSION TO BEARINGS PER RECORDED PLAT, 0.1722 AC DOC. NO. 2004R0049463 IS: 0°44'36" GRAPHIC SCALE 12,760 SF 0.2929 AC INCLUDED OUTLOT 3 HEREBY DEDICATED TO THE VILLAGE OF ALGONQUIN 102 11,906 SF 29 0.4169 AC 0.2733 AC 11,358 SF 0.2608 AC ိုင္တိုင္တိုင္က (N89°01'52"W) S88° 17' 16"E 120.59' TYPICAL BUILDING SETBACK LINE 0.2375 AC AND EASEMENT DETAIL −A=12.32' N89° 45' 23"W 129.33' 0.1267 AC 9,870 SF 9,531 SF 0.2266 AC 0.2188 AC ¹ 20' B.S.L. 20' B.S.L. 0.1231 AC N89° 45' 23"W 163.30' ___ _____A=14.63' __R=40.00' A=16.14' R=40.00' S89<u>° 44</u>' 27<u>"W</u> 119.19' CB=N05°19'23"E CB=S16°37'57"€ *30* EINEKE 0.1510 AC -0.1653 AC N89° 45' 23"W. 168.90' ___ \$89<u>° 44</u>' 27<u>"W</u> 120.32' /─ 30' B.S.L. 0<u>.184</u>1 AC____ 0.1253 AC ... A=3.84'-— 0.1326 AC— [`]— 20' P.U.E. └─ 20' P.U.E. 0.2331 AC \$8<u>9° 44</u>' 27<u>"W</u> 122.34' 12,937 SF STREET STREET 0.2970 AC **27** 106 12,479 SF 87 9,941 SF TYPICAL CORNER TYPICAL LOT 9,813 SF 0.2865 AC 0.2282 AC 0.2253 AC REAR YARD SET BACK FOR LOTS 96 TO 128 IS 30' (76.05') 76.09' 124.94' CB=N84°16'00"W N88° 17' 16"W (N89°01'52"W) N88° 17' 16"W 249.94' FIP 3/4 AT CORNER HERETOFORE DEDICATED PER DOC. 2004R0049463 **SPELLA** DRIVE (N89°01'52"W) S88° 17' 16"E FIP 3/4 R=630.00' 0.11'N S88° 17' 16"E 250.00' FIP 3/4 0.12'N ON LINE FIP 3/4 AT CORNER SURVEYOR'S NOTES: 77 53 1. DIMENSIONS ALONG CURVED LINES ARE ARC LENGTHS. 12,430 SF 0.2854 AC 2. SUBDIVIDED LOTS AND EXTERIOR BOUNDARY CORNERS SHALL BE |65 _{11,233} SF 15,118 SF 11,169 SF 64 MONUMENTED WITH 5/8" CAPPED IRON RODS, UNLESS SHOWN OTHERWISE, 0.3471 AC 0.2579 AC IN CONFORMANCE WITH STATE STATUTES AND LOCAL SUBDIVISION 0.2564 AC CONTROL ORDINANCES WITHIN 18 MONTHS OF RECORDATION OF THE PLAT. S88° 17' 16"E 124.89' S88° 17' 16"E 125.15' N88° 17'<u>16"</u>W. <u>160</u>.37'___ ALL ROADS / RIGHT-OF-WAYS LABELED HEREON AS "HEREBY DEDICATED" 6,496 SF ARE HEREBY DEDICATED TO THE VILLAGE OF ALGONQUIN AS PUBLIC − 0.1491 AC ----RIGHT-OF-WAYS. N88° 17<u>' 16"</u>W <u>140</u>.01'_ A=23.30' R=2030.00' 10,214 SF 8,969 SF CB=N05°35'49"E 9,026 SF 0.2345 AC 0.2059 AC 7,544 SF 0.2072 AC 0.1732 AC (S89°01'52"E) S88° 17' 16"E 133.10' N88° 17'<u>16"</u>W <u>153.54</u>'_ S88° 17' 16"E 126.32' S88° 17' 16"E 123.55' S88° 17' 16"E 132.38' A=18.20'— 55 6,467 SF 79 5,872 SF —A=24.81' 0.1485 AC 9,979 SF 0.1348 AC 7,751 SF 0.2291 AC S88° 17' 16"E 136.35" \$88° 17' 16"E 129.04" 0.1857 AC S88° 17' 16"E 145.47' 0.1779 AC \$88° 17' 16"E 128.68' S88° 17' 16"E 121.25' 6,034 SF 7,577 SF 6,728 SF 0.1385 AC 0.1739 AC 0.1545 AC 102 5,806 SF 5,442 SF S88° 17' 16"E 128.19 0.1333 AC S88° 17' 16"E 141.00" 0.1249 AC S88° 17' 16"E 138.93' S88° 17' 16"E 129.21' S88° 17' 16"E 120.76' 15' E.O.F.E. EASEMENT PER DOC. 2004R0049463 6,406 SF 68 5,807 SF | 56 10,827 SF 7,885 SF 0.1471 AC 5,442 SF 0.1333 AC 0.1810 AC S88° 17' 16"E 137.68" 0.1249 AC 0.2485 AC S88° 17' 16"E 128.72' S88° 17' 16"E 121.28' \$88° 17' 16"E 131.07' REVISIONS FINAL PLAT OF SUBDIVISION PREPARED FOR: 19437.FS Engineers DATE DESCRIPTION DESCRIPTION 7325 Janes Avenue, Suite 100 DATE Project No: Woodridge, IL 60517 Forestar Scientists VP04.1 630.724.9200 voice GRAND RESERVE RESUBDIVISION - ALGONQUIN, IL Group No: 750 Bunker Court - Suite 500 630.724.0384 fax Surveyors Vernon Hills, IL 60061 PROJECT MANAGER: EJM SHEET NO. DRAFTING COMPLETED: DRAWN BY: EJM v3co.com 847.984.4891 of 4 FIELD WORK COMPLETED: CHECKED BY: EJM SCALE: 1" = 50'

FINAL PLAT OF SUBDIVISION BASIS OF BEARINGS ASSUMED THE NORTH LINE OF THE SW 1/4 OF SECTION 31-43-8 TO BE: S 89°47'47" E GRAND RESERVE RESUBDIVISION CONVERSION TO BEARINGS PER RECORDED PLAT, DOC. NO. 2004R0049463 IS: 0°44'36" ALGONQUIN, IL *GRAPHIC SCALE* PART OF THE SOUTHWEST FRACTIONAL 1/4 OF SECTION 31, TOWNSHIP 43 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN. MCHENRY COUNTY, ILLINOIS, 0<u>.234</u>5 AC____ 0.2072 AC 7,544 SF 0.1732 AC N88° 17'_16"W. _153.54'_ S88° 17' 16"E 126.32' S88° 17' 16"E 132.38" · 79 5,872 SF **OWNER'S CERTIFICATE** 9,979 SF 0.1348 AC 8,089 SF STATE OF ILLINOIS 0.2291 AC S88° 17' 16"E 129.04" 0.1857 AC S88° 17' 16"E 145.47' COUNTY OF \$88° 17' 16"E 128.68" 6,034 SF THIS IS TO CERTIFY THAT THE UNDERSIGNED (LIST NAMES) IS [ARE] THE SOLE LEGAL OWNER[S] OF RECORD OF 6,728 SF 0.1385 AC THE LAND DESCRIBED ON THE ATTACHED PLAT AND HAS [HAVE] CAUSED THE SAME TO BE SURVEYED AND 0.1545 AC 102 5,806 SF √ \$88° 17' 16"E 128.⁴ SUBDIVIDED AS INDICATED THEREON FOR THE USES AND PURPOSES THEREIN SET FORTH. S88° 17' 16"E 141.00' 0.1333 AC S88° 17' 16"E 129.21' 15' E.O.F.E. EASEMENT TO THE BEST OF THE OWNERS KNOWLEDGE, THE SCHOOL DISTRICTS IN WHICH EACH TRACT, PARCEL, LOT OR PER DOC. 2004R0049463 BLOCK OF THE PROPOSED SUBDIVISION LIES ARE 6.406 SF | ⊖ B 5,807 SF 0.1471 AC LOT NUMBER(S) SCHOOL DISTRICT 0.1333 AC 0.1810 AC SCHOOL DISTRICT #300 S88° 17' 16"E 137.68" S88° 17' 16"E 128.72' — S88° 17' 16"E 131.07" 6,137 SF 0.1409 AC 0.1324 AC **ADDRESS** \$88° 17' 16"E 127.54' 0.1641 AC S88° 17' 16"E 137.29' DAY OF 56 DATED THIS 7,344 SF 7.289 SF 0.1686 AC 0.1673 AC **NOTARY CERTIFICATE** S88° 17' 16"E 131.95 9,221 SF S88° 17' 16"E 126.01" 0.2117 AC STATE OF ILLINOIS **IRNISH** S88° 17' 16"E 144.39" COUNTY OF ____ 5,643 SF 0.1646 AC · · 0.1296·AC · · A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, S88° 17' 16"E 124.81' S88° 17' 16"E 128.80' PERSONALLY KNOWN TO ME TO BE THE SAME 6.988 SF PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED 0.1604 AC BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE ANNEXED PLATS AS THEIR OWN S88° 17' 16"E 106.43' FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH. GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS DAY OF 0.2216 AC 82 0.1526 AC ...21.09'— 0.2656 AC N88° 17' 16"W 75.62' N87° 50' 34"W 250.00' **NOTARY PUBLIC** LANE HERETOFORE DEDICATED PER DOC. 2004R0049463 OUTLOT 4 (HOA OPEN SPACE) VILLAGE BOARD CERTIFICATE (N88°35'10"W) S87° 50' 34"E 250.60' 0.2003 AC STATE OF ILLINOIS (N55°52'54"W) COUNTY OF McHENRY & KANE N55° 08' 18"W APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF ALGONQUIN, MCHENRY COUNTY AND KANE COUNTY, ILLINOIS THIS ___ DAY OF ____S88<u>° 17</u>' 16"<u>E__</u>146<u>.75'</u> 0.1603 AC ♥ 0.1308 AC VILLAGE PRESIDENT VILLAGE CLERK Q,3138 AC N55° 08' 18"W 45.00' PLAN COMMISSION/BOARD OF APPEALS CERTIFICATE STATE OF ILLINOIS __S88° <u>17' 16"E___1</u>78.<u>88'</u>__ *75*

COUNTY OF McHENRY & KANE

THIS IS TO CERTIFY THAT MEMBERS OF THE PLANNING AND ZONING COMMISSION OF THE VILLAGE OF ALGONQUIN, MCHENRY COUNTY AND KANE COUNTY, ILLINOIS, HAVE REVIEWED THE ABOVE PLAT.

DATED THIS ______, 20_____.

CHAIRPERSON

PLAN COMMISSION/BOARD OF APPEALS SECRETARY

CERTIFICATE AS TO SPECIAL ASSESSMENTS

STATE OF ILLINOIS

COUNTY OF McHENRY & KANE

, VILLAGE COLLECTOR OF THE VILLAGE OF ALGONQUIN, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE LAND INCLUDED IN THIS PLAT

DATED AT ALGONQUIN, McHENRY AND LAKE COUNTIES, ILLINOIS,

VILLAGE COLLECTOR

Engineers 7325 Janes Avenue, Suite 100 Woodridge, IL 60517 Scientists 630.724.9200 voice 630.724.0384 fax Surveyors

v3co.com

PREPARED FOR: Forestar 750 Bunker Court - Suite 500 Vernon Hills, IL 60061 847.984.4891

REVISIONS DATE DESCRIPTION **DESCRIPTION** DATE

8,202 SF

0.1883 AC

S88° 17' 16"E 144.01'

8,266 SF

0.1898 AC

\$88° 17' 16"E 128.66"

5,773 SF

0.1325 AC

\$88° 17' 16"E 128.25"

5,771 SF

0.1325 AC

\$88° 17' 16"E | 128.25'

79

7,054 SF

0.1619 AC

\$88° 17' 16"E 128.24"

5,690 SF

0.1306 AC

S88° 17' 16"E 123.08'

106

(\$89°28'27"W) \$89° 46' 57"E 232.54'

A=18.81' R=120.00'

CB=S02°46'40"E

. 1<u>38.5</u>8! ____ 128

6.549 SF

0.1503 AC

S88° 17' 16"E 140.00"

7,700 SF

0.1768 AC

S88° 17' 16"E 140.00'

0.1446 AC

\$88° 17' 16"E 140.00'

6,353 SF

0.1458 AC

S88° 17' 16"E 143.55'

124

8,245 SF

0.2059 AC

7,751 SF

0.1779 AC

S88° 17' 16"E 121.25'

5,442 SF

0.1249 AC

S88° 17' 16"E 120.76'

5.442 SF

0.1249 AC

S88° 17' 16"E 121.28'

S88° 17' 16"E 122.46'

5,484 SF

0.1259 AC

7.086 SF

0.1627 AC

S88° 17' 16"E 123.99'

5,607 SF

· 0:1287 AC

S88° 17' 16"E 125.19'

9,970 SF

0.2289 AC

127.29'

9,990 SF

0.2293 AC

8,475 SF

0.1946 AC

S88° 17' 16"E 146.75'

6.604 SF

0.1516 AC

6.604 SF

0.1516 AC

S88° 17' 16"E 146.75'

8.071 SF

0.1853 AC

S88° 17' 16"E 146.75'

7,337 SF

0.1684 AC

N88° 17' 16"W 146.75'

く つ

S88° 17' 16"E 146.75'

62

A=8.49'-

ON LINE &

AT CORNER

S88° 17' 16"E 123.55'

(\$89°01'52"E) \$88° 17' 16"E 133.10'

6,467 SF

S88° 17' 16"E 136.35"

7.577 SF

0.1739 AC

S88° 17' 16"E 138.93"

0.2485 AC

POND VIEW DR.
HERETOFORE DEDICATED

N88° 17' 16"W 140.00'

12.600 SF

0.2893 AC

S88° 17' 16"E 140.00'

N88° 17' 16"W 140.00'

6,300 SF

0.1446 AC

S88° 17' 16"E 140.00'

101

7,700 SF

0.1768 AC

S88° 17' 16"E 140.00'

102

7,700 SF

0.1768 AC

S88° 17' 16"E 140.00'

____103___

6,300 SF

0.1446 AC

S88° 17' 16"E 140.00"

7,700 SF

0.1768 AC

S88° 17' 16"E 140.00"

7,700 SF

0.1768 AC

S88° 17' 16"E 140.00'

0.1446 AC

S88° 17' 16"E 140.00'

7,700 SF

0.1768 AC

S88° 17' 16"E 140.00"

7.700 SF

0.1768 AC

S88° 17' 16"E 140.00"

FIELD WORK COMPLETED:

(S89°01'52"E)

PER DOC. 2004R0049463

156 10,827 SF

-A=24.81' 0.1485 AC

FINAL PLAT OF SUBDIVISION GRAND RESERVE RESUBDIVISION - ALGONQUIN, IL PROJECT MANAGER: EJM DRAFTING COMPLETED:

CHECKED BY: EJM

19437.FS VP04.1 Group No: SHEET NO.

of **4**

AND SUPERVISION, THAT INTERFERE OR THREATEN TO INTERFERE WITH ANY OF SAID PUBLIC UTILITY EQUIPMENT. THE LOCATION OF FACILITIES IN PLATTED STREETS AND ALLEYS SHALL NOT CONFLICT WITH PUBLIC IMPROVEMENTS AND SHALL BE SUBJECT TO VILLAGE APPROVAL. NO PERMANENT BUILDING OR TREES SHALL BE PLACED ON SAID EASEMENTS, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR THE RIGHTS HEREIN GRANTED. PUBLIC UTILITY EASEMENT PROVISIONS FOR NICOR GAS COMPANY NICOR, ITS SUCCESSOR AND ASSIGNS, IS HEREBY GIVEN EASEMENT RIGHTS TO ALL

THE VILLAGE OF ALGONQUIN IS HEREBY GIVEN PERPETUAL EASEMENT RIGHTS TO ALL

PLATTED EASEMENTS DESIGNATED "VILLAGE UTILITY EASEMENTS" AND JOINTLY WITH

PUBLIC UTILITIES IN EASEMENTS DESIGNATED AS "UTILITY EASEMENTS". SAID

EASEMENTS SHALL RUN WITH THE LAND AND SHALL BE BINDING UPON GRANTOR'S

OPERATE, MAINTAIN AND REMOVE FROM TIME TO TIME UNDERGROUND FACILITIES AND

APPURTENANCES USED IN CONNECTION WITH THE WATER, SANITARY SEWER OR

STORM DRAINAGE SYSTEM OF THE VILLAGE OF ALGONQUIN EXCEPT THAT THE

EASEMENTS MAY BE GRADED AS SWALES TO RECEIVE LOCAL SURFACE DRAINAGE. NO

PERMANENT BUILDINGS OR TREES SHALL BE PLACED ON SAID EASEMENTS, BUT SAME

MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO

NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS HEREIN

GRANTED. FENCES MAY BE PERMITTED PROVIDING THE PROPERTY OWNER SIGNS A

WAIVER AGREEMENT APPROVED BY THE VILLAGE MANAGER OR HIS DESIGNEE. THE

VILLAGE HAS THE RIGHT, BUT NOT THE OBLIGATION TO, AT ANY TIME, ABATE ANY

OBSTRUCTIONS PLACED ON OR OVER THE EASEMENT AREA. ANY COSTS INCURRED BY

THE VILLAGE, OR ITS AGENTS AND SUB CONTRACTORS TO ABATE THE OBSTRUCTIONS

SHALL BE PAID FOR BY THE PROPERTY OWNER. IF THE PROPERTY OWNER CANNOT

PAY FOR THE COSTS, THEN A LIEN SHALL BE PLACED ON THE PROPERTY. ANY

MORTGAGE ON THE EASEMENT PROPERTY WILL BE SUBORDINATE TO THIS EASEMENT

IN THE EVENT THAT THE VILLAGE BRINGS OR DEFENDS AN ACTION TO ENFORCE

AND/OR INTERPRET ITS RIGHTS UNDER THIS EASEMENT, IT SHALL BE REIMBURSED ITS

ATTORNEY'S FEES AND COSTS FROM THE NON-PREVAILING PARTY, INCLUDING THOSE

PUBLIC UTILITY EASEMENT PROVISIONS FOR ELECTRIC AND COMMUNICATION SERVICES

UTILITY COMPANIES PROVIDING ELECTRIC OR COMMUNICATIONS SERVICES, THEIR

RESPECTIVE SUCCESSORS AND ASSIGNS, JOINTLY OR SEVERALLY ARE HEREBY GIVEN

MAINTAIN AND REMOVE, FROM TIME TO TIME, FACILITIES USED IN CONNECTION WITH

THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND SOUNDS AND SIGNALS

TOGETHER WITH THE RIGHT TO INSTALL REQUIRED SERVICE CONNECTIONS TO SERVE

THE IMPROVEMENTS OF EACH LOT, THE RIGHT TO CUT DOWN AND REMOVE OR TRIM

AND KEEP TRIMMED ANY TREE, SHRUBS OR SAPLINGS, WITHIN VILLAGE GUIDELINES

EASEMENT RIGHTS TO ALL PLATTED STREETS AND ALLEYS TO INSTALL, OPERATE

ATTORNEY'S FEES AND COSTS ASSOCIATED WITH ANY APPEAL.

VILLAGE UTILITY EASEMENT PROVISIONS

PLATTED STREETS AND ALLEYS. SAID EASEMENT TO BE FOR THE INSTALLATION, RELOCATION, RENEWAL AND REMOVAL OF GAS MAINS AND APPURTENANCES. LOCATION OF MAINS AND APPURTENANCES SHALL NOT CONFLICT WITH PUBLIC IMPROVEMENTS AND SHALL BE SUBJECT TO VILLAGE APPROVAL.

SCALE: 1" = 50'

OF

GRAND RESERVE RESUBDIVISION

ALGONQUIN, IL

PART OF THE SOUTHWEST FRACTIONAL 1/4 OF SECTION 31, TOWNSHIP 43 NORTH

COUNTY CLERK CERTIFICATE STATE OF ILLINOIS)) SS COUNTY OF McHENRY) ,, COUNTY CLERK OF McHENRY COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT GENERAL TAXES, NO UNPAID SPECIAL TAXES, NO UNPAID FORFEITED TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT. FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT. GIVEN UNDER MY HAND AND SEAL IN WOODSTOCK, ILLINOIS THIS DAY OF, A.D. 20	HEREBY DEDICATED TO THE NULLAGE OF ALGONQUIN NUllag	105 105	BASIS OF BEARINGS ASSUMED THE NORTH LINE OF THE SW 1/4 OF SECTION 31-43-8 TO BE: S 89°47'47" E CONVERSION TO BEARINGS PER RECORDED PLAT, DOC. NO. 2004R0049463 IS: 0°44'36" GRAPHIC SCALE 1" = 50'
RECORDER'S CERTIFICATE STATE OF ILLINOIS))SS COUNTY OF McHENRY) THIS INSTRUMENT WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF McHENRY COUNTY, ILLINOIS, THIS DAY OF	106 124 8,245 SF 0.1893 AC S88° 17' 16"E 158.26' 109 100 100 100 100 100 100 10	00 105	THIS PLAT PRESENTED BY:
SURVEYOR'S CERTIFICATE TATE OF ILLINOIS) SS OUNTY OF DUPAGE) HIS IS TO CERTIFY TO THE VILLAGE OF ALGONQUIN THAT I, EDWARD J. MURRAY, AN ILLINOIS PROFESSIONAL AND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED, SUBDIVIDED AND PLATTED FOR THE OWNERS HEREOF THE FOLLOWING LEGALLY DESCRIBED PROPERTY, AND THAT THE PLAT HEREON DRAWN IS A CORRECT EPRESENTATION THEREOF. OTS 1, 2, 3, 4, 7, 8, 11, 14, 15,16, 17, 18, 21, 23, 24, 25, 26, 28, 29, 32, 34, 35, 36, 37, 40, 44, 55, 56, 57, 59, 60, 61, 62, 63, 64, 56, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 19, 29, 39, 49, 59, 69, 79, 98, 93, 104 AND 105, AS DESIGNATED UPON THE PLAT OF GRAND RESERVE SUBDIVISION, BEING A SUBDIVISION OF ART OF THE SOUTHWEST FRACTIONAL QUARTER (14) OF SECTION 31, TOWNSHIP 43 NORTH, RANGE 8 EAST OF HE THIRD PRINCIPAL MERIDIAN, THE PLAT OF WHICH SUBDIVISION IS RECORDED AS DOCUMENT NO. 004R004963 ON JUNE 2, 2004 AND CERTIFICATE OF CORRECTION RECORDED JUNE 18, 2004 AS DOCUMENT NO. 2004R0099240 AND CERTIFICATE OF CORRECTION RECORDED JUNE 18, 2004 AS DOCUMENT NO. 2004R0056483 ND CERTIFICATE OF CORRECTION RECORDED SEPTEMBER 8, 2004 AS DOCUMENT NO. 2004R0080452 IN THE ECORDER'S OFFICE OF MCHENRY COUNTY, ILLINOIS; OGETHER WITH THAT PART OF LOT 102 DESCRIBED AS FOLLOWS: BEGINNING AT THE CORNER OF LOTS 37 AND 8, IN SAID GRAND RESERVE SUBDIVISION; THENCE SOUTH 44 DEGREES 40 MINUTES 16 SECONDS WEST, 69,54 EET TO THE CORNER OF LOTS 36 AND 37; THENCE ALONG THE WESTERLY LINE OF LOT 37 NORTH 66 DEGREES 29 INJUTES 43 SECONDS EAST, 15.00 FEET; THENCE CONTINUING ALONG SAID WESTERLY LINE, NORTH 38 DEGREES 60 MINUTES 39 SECONDS EAST, 55.89 FEET TO THE POINT OF BEGINNING. XCEPTING THEREFROM THAT PART OF LOT 105 SUBMITTED TO THE ILLINOIS CONDOMINIUM ACT BY DECLARATION OF CONDOMINIUM OWNERSHIP AND EASEMENTS, RESTRICTIONS AND COVENANTS FOR GRAND RESERVE MANOR	OUTLOT 6 HEREBY DEDICATED TO THE VILLAGE OF ALGONQUIN 81,702 SF 1.8756 AC 120 12,336 SF 0.2832 AC 103 119 13,798 SF 0.3168 AC 13.111	## DOC. 2004R0049463 A=43.45 A=45.45 A=45.45 A=45.45 A=45.45 A=43.45 A=43.45	COMED EASEMENT PER DOC. 2004R0049463 & DOC. 2003R0026610 — CONCRETE MONUMENT TO BE SET
OME CONDOMINIUM RECORDED NOVEMBER 1, 2006 AS DOCUMENT NO. 2006R0080668 AND THE FIRST MENDMENT RECORDED MAY 4, 2007 AS DOCUMENT NO. 2007R0030701 AND RE-RECORDED MAY 10, 2007 AS DOCUMENT NO. 2007R0033006, SITUATED IN MCHENRY COUNTY AND THE STATE OF ILLINOIS. LSO, EXCEPTING THEREFROM THAT PART OF LOT 103 IN GRAND RESERVE SUBDIVISION DEDICATED FOR PUBLIC IGHT-OF-WAY RECORDED MAY 12, 2012 AS DOCUMENT 2012R0019407, IN MCHENRY COUNTY, ILLINOIS. ONTAINING 27.4 ACRES MORE OR LESS. FURTHER CERTIFY PERMANENT MONUMENTS WILL BE SET AT ALL LOT CORNERS, EXCEPT WHERE CONCRETE IONUMENTS ARE INDICATED, AND THAT THE PLAT HEREON DRAWN CORRECTLY REPRESENTS SAID SURVEY AND UBDIVISION AS REQUIRED BY THE PLAT ACT (765 ILCS 205/0.01 ET SEQ.) DIMENSIONS ARE GIVEN IN FEET AND ECIMAL PARTS THEREOF. FURTHER CERTIFY THAT THE FOREGOING FALLS WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF LGONQUIN, AND I FURTHER CERTIFY THAT THE ABOVE DESCRIBED PROPERTY FALLS IN AREAS OF MINIMAL LOOD HAZARD (ZONE X) AND PART IS IN SPECIAL FLOOD HAZARD AREA (ZONE A) AS DEFINED BY THE FEDERAL MERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP OF MCHENRY COUNTY, ILLINOIS AND ICORPORATED AREAS (MAP NO. 171111C0336J & 17111C0340J) MAPS EFFECTIVE DATE: NOVEMBER 16, 2006.	PERMISSION TO RECORD STATE OF ILLINOIS) (SS) COUNTY OF DUPAGE) I, EDWARD J. MURRAY, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF ILLINOIS, HEREBY DESIGNATE THE TO RECORD THIS PLAT OF GRAND RESERVE RESUBDIVISION WITH THE MCHENRY COUNTY RECORDER OF DEEDS AND REGISTRAR OF TITLE. THIS DESIGNATION IS GRANTED UNDER THE RIGHT TO DESIGNATE SUCH RECORDING UNDER CHAPTER 109, SECTION 2 OF THE ILLINOIS REVISED STATUTES THIS DAY OF, A.D., 2021.	SURFACE WATER DRAINAGE CERTIFICATE TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS SUBDIVISION OR ANY PART THEREOF, OR, IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, ADEQUATE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS THE RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON THE PROPERTY OF ADJOINING LAND OWNERS IN SUCH CONCENTRATIONS AS MAY CAUSE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION. DATED THIS DAY OF, 20	EASEMENT RELEASE APPROVED AND ACCEPTED COMMONWEALTH EDISON COMPANY BY:
DWARD J. MURRAY LINOIS PROFESSIONAL LAND SURVEYOR NO. 35-4037 IY LICENSE EXPIRES ON NOVEMBER 30, 2022. 3 COMPANIES, LTD. PROFESSIONAL DESIGN FIRM NO. 184000902	EDWARD J. MURRAY ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-4037 MY LICENSE EXPIRES ON NOVEMBER 30, 2022. V3 COMPANIES, LTD. PROFESSIONAL DESIGN FIRM NO. 184000902 THIS DESIGN FIRM NUMBER EXPIRES APRIL 30, 2023.	REGISTERED PROFESSIONAL ENGINEER	DATE TITLE: VILLAGE OF ALGONQUIN BY: DATE TITLE: DATE



7325 Janes Avenue, Suite 100 Woodridge, IL 60517 630.724.9200 voice 630.724.0384 fax v3co.com PREPARED FOR:

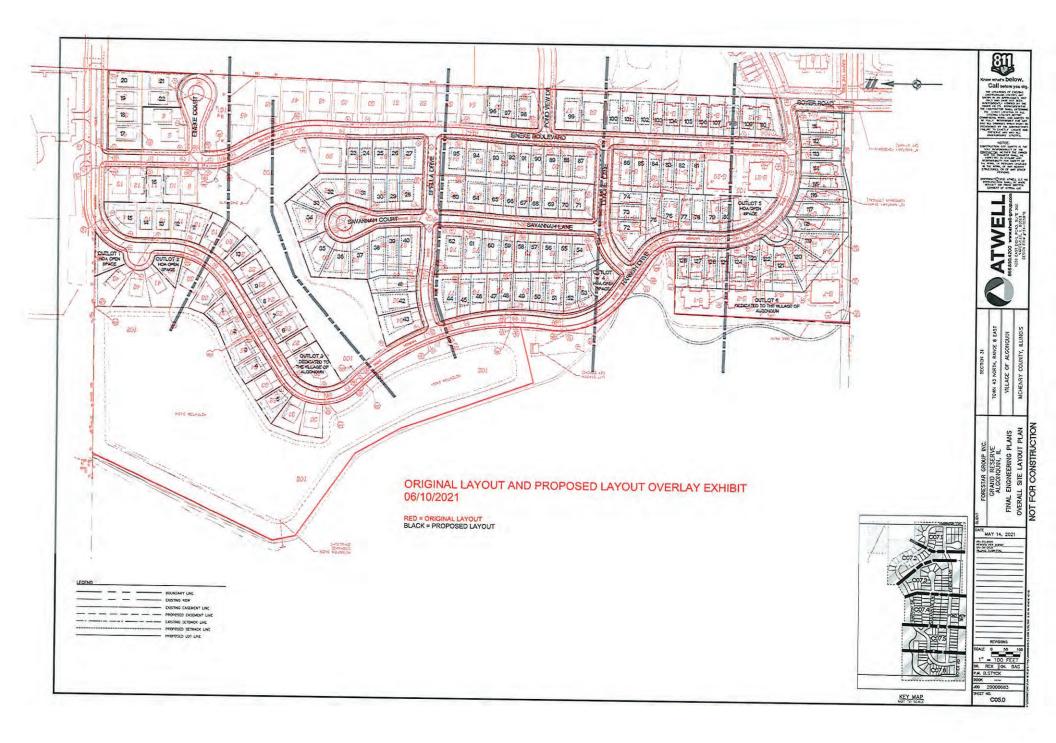
Forestar

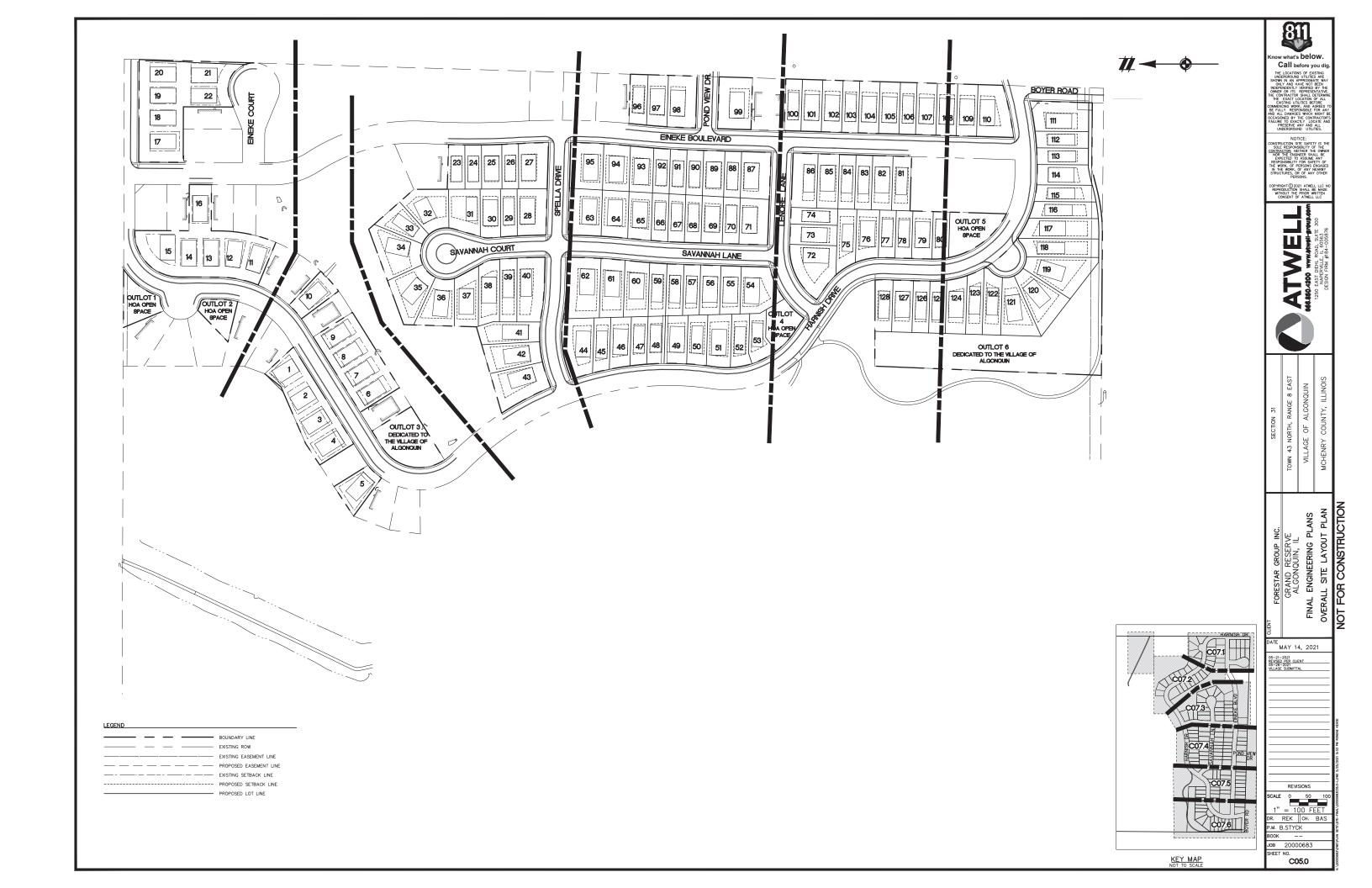
750 Bunker Court - Suite 500

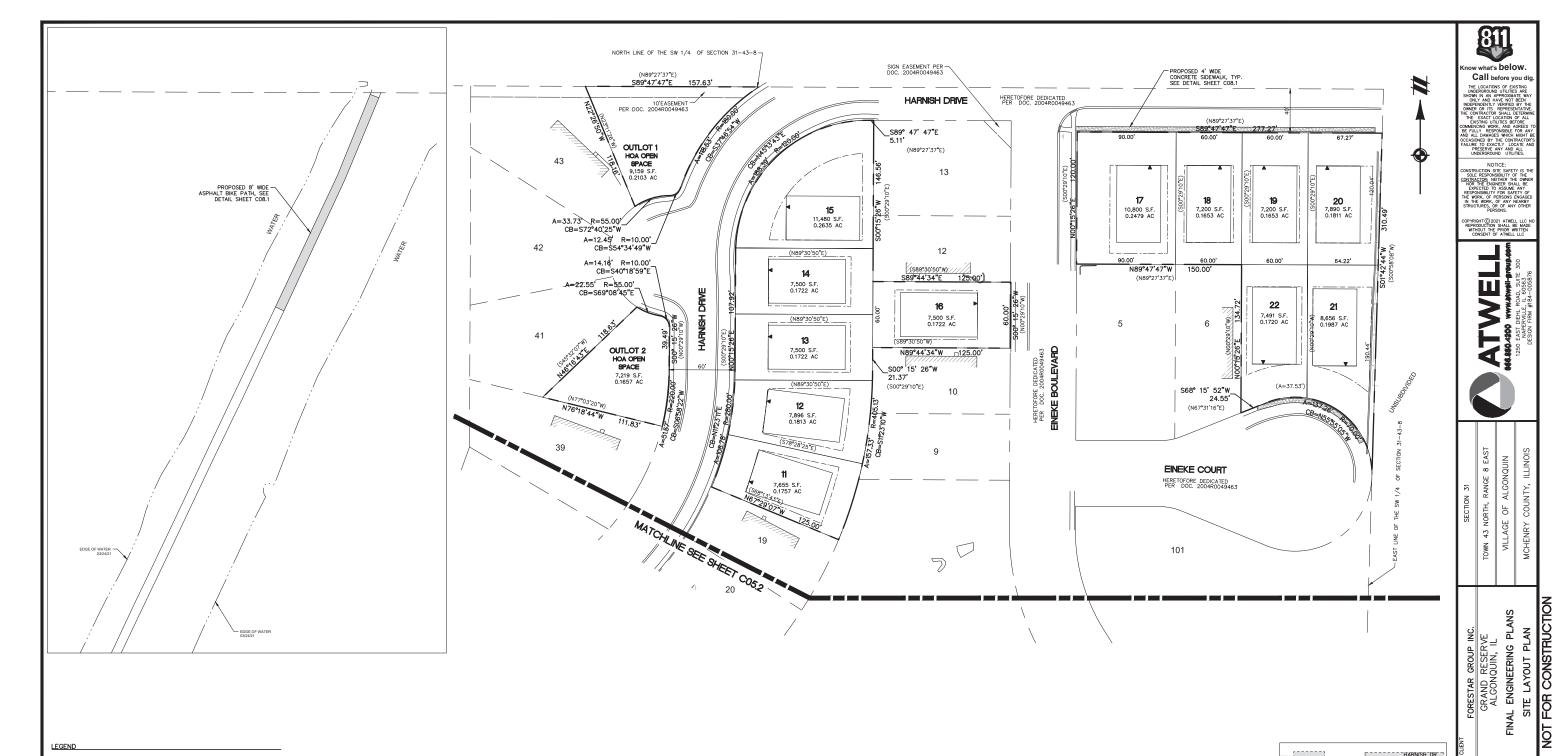
Vernon Hills, IL 60061

847.984.4891

	REVISIO	DNS			IAI DIAT		ION			_
NO. DATE	DESCRIPTION NO.	DATE	DESCRIPTION	FINAL PLAT OF SUBDIVISION					Project No: 19437.F	19437.FS
				GRAND RESERVE RESUBDIVISION - ALGONQUIN, IL					Group No:	VP04.1
									·	
				DRAFTING COMPLETED:	05/19/21	DRAWN BY: EJM	PROJECT MANAGER:	EJM	SHEET	NO.
						2121111311 20111			4	4



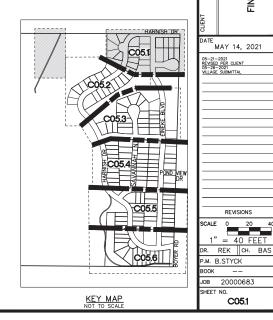


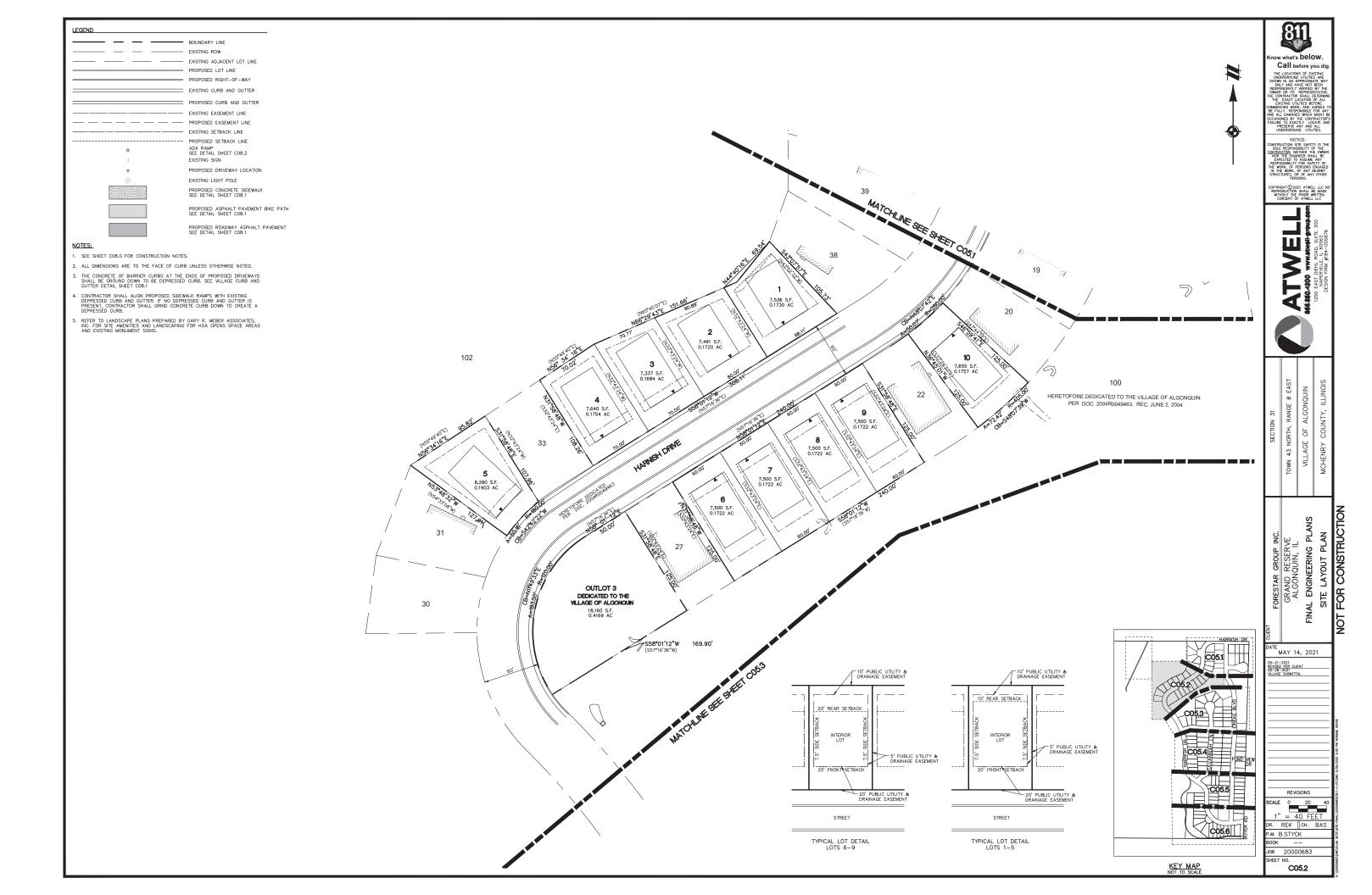


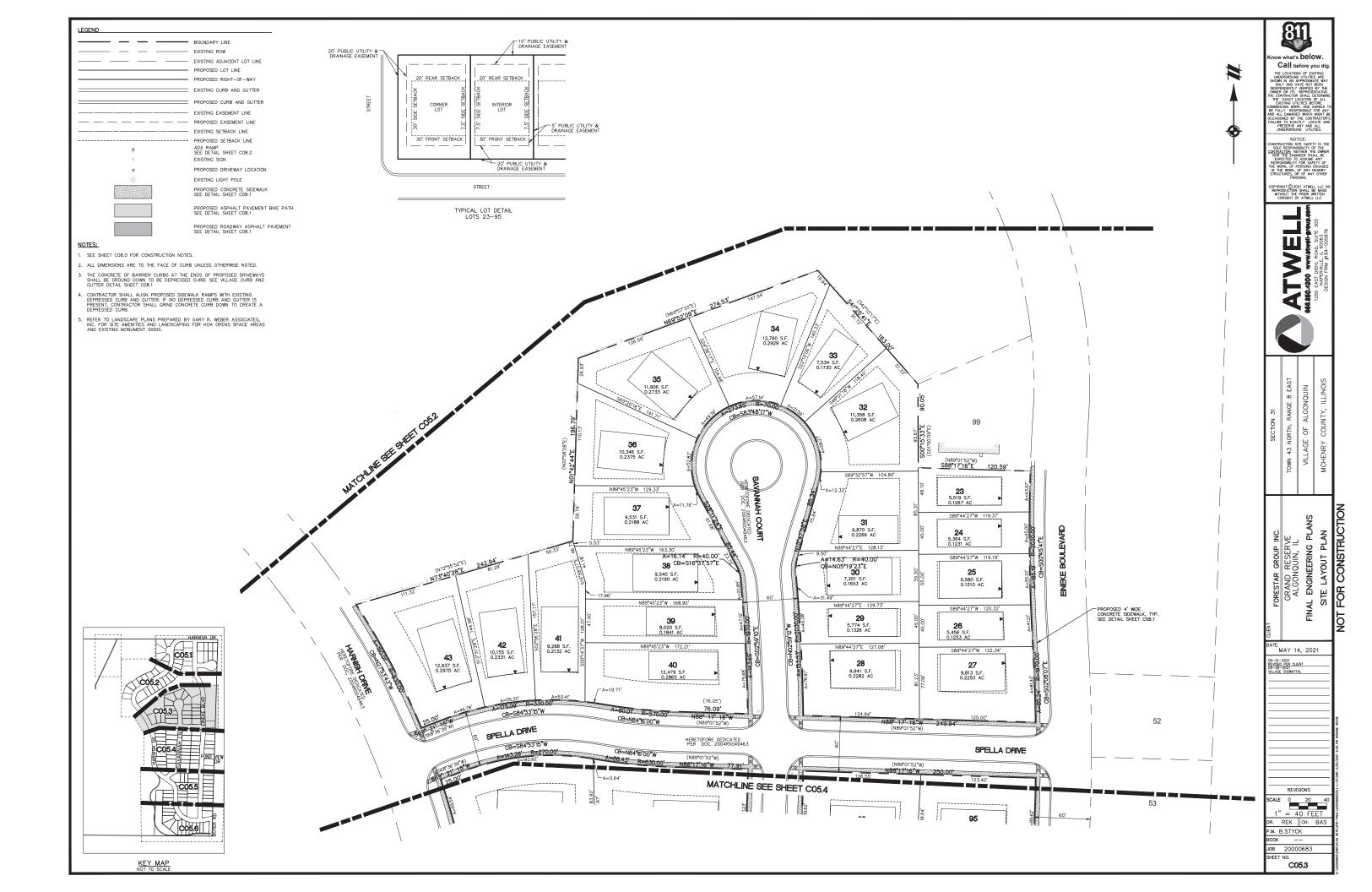
LEGEND	
	BOUNDARY LINE
	EXISTING ROW
	EXISTING ADJACENT LOT LINE
	PROPOSED LOT LINE
	PROPOSED RIGHT-OF-WAY
	EXISTING CURB AND GUTTER
	PROPOSED CURB AND GUTTER
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	EXISTING SETBACK LINE
	PROPOSED SETBACK LINE
R	ADA RAMP SEE DETAIL SHEET COB.2
þ	EXISTING SIGN
▼	PROPOSED DRIVEWAY LOCATION
- \$-	EXISTING LIGHT POLE
	PROPOSED CONCRETE SIDEWALK SEE DETAIL SHEET CO8.1
	PROPOSED ASPHALT PAVEMENT BIKE POSEE DETAIL SHEET CO8.1
	PROPOSED ROADWAY ASPHALT PAVEME SEE DETAIL SHEET CO8.1

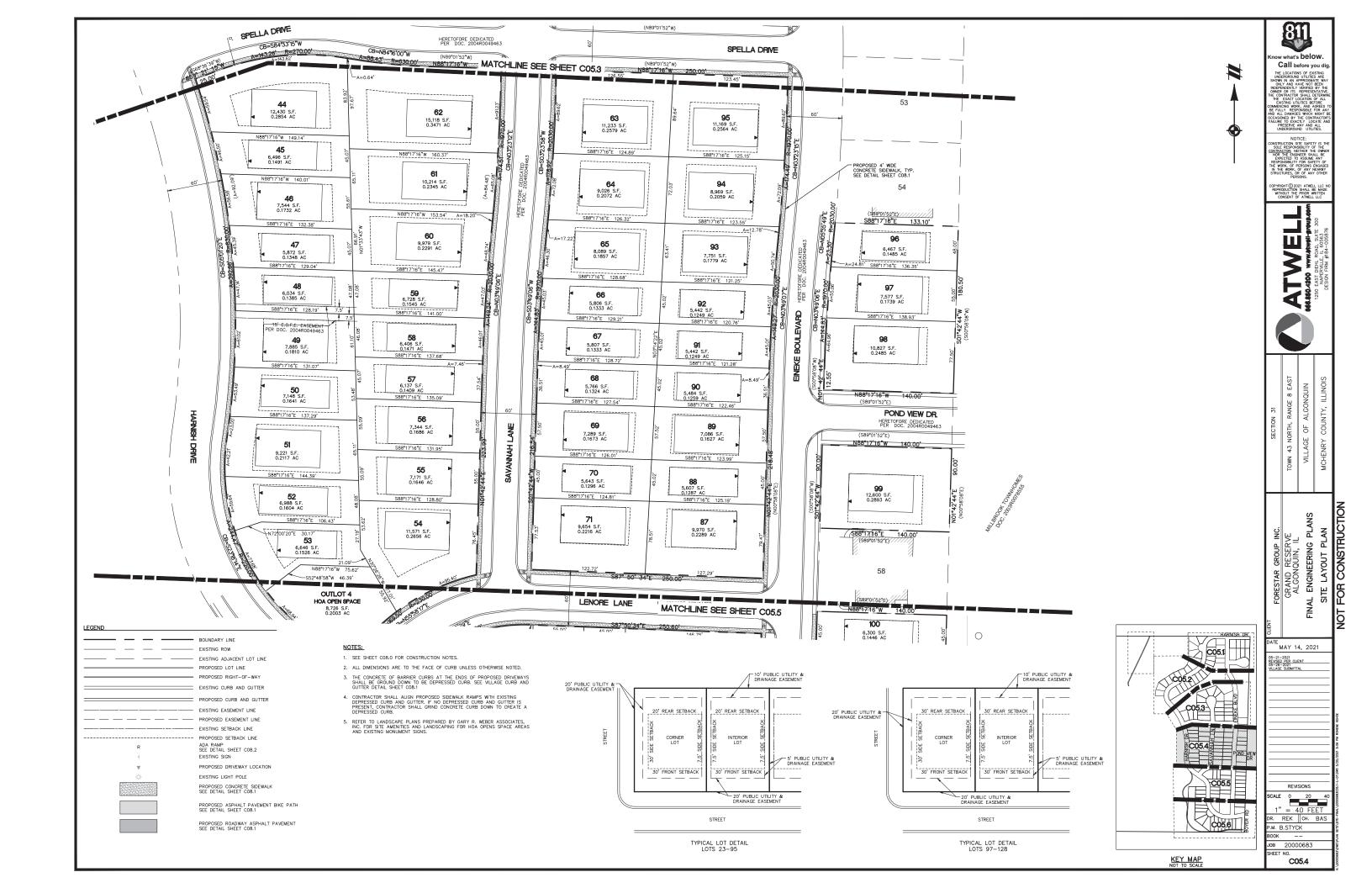
NOTES:

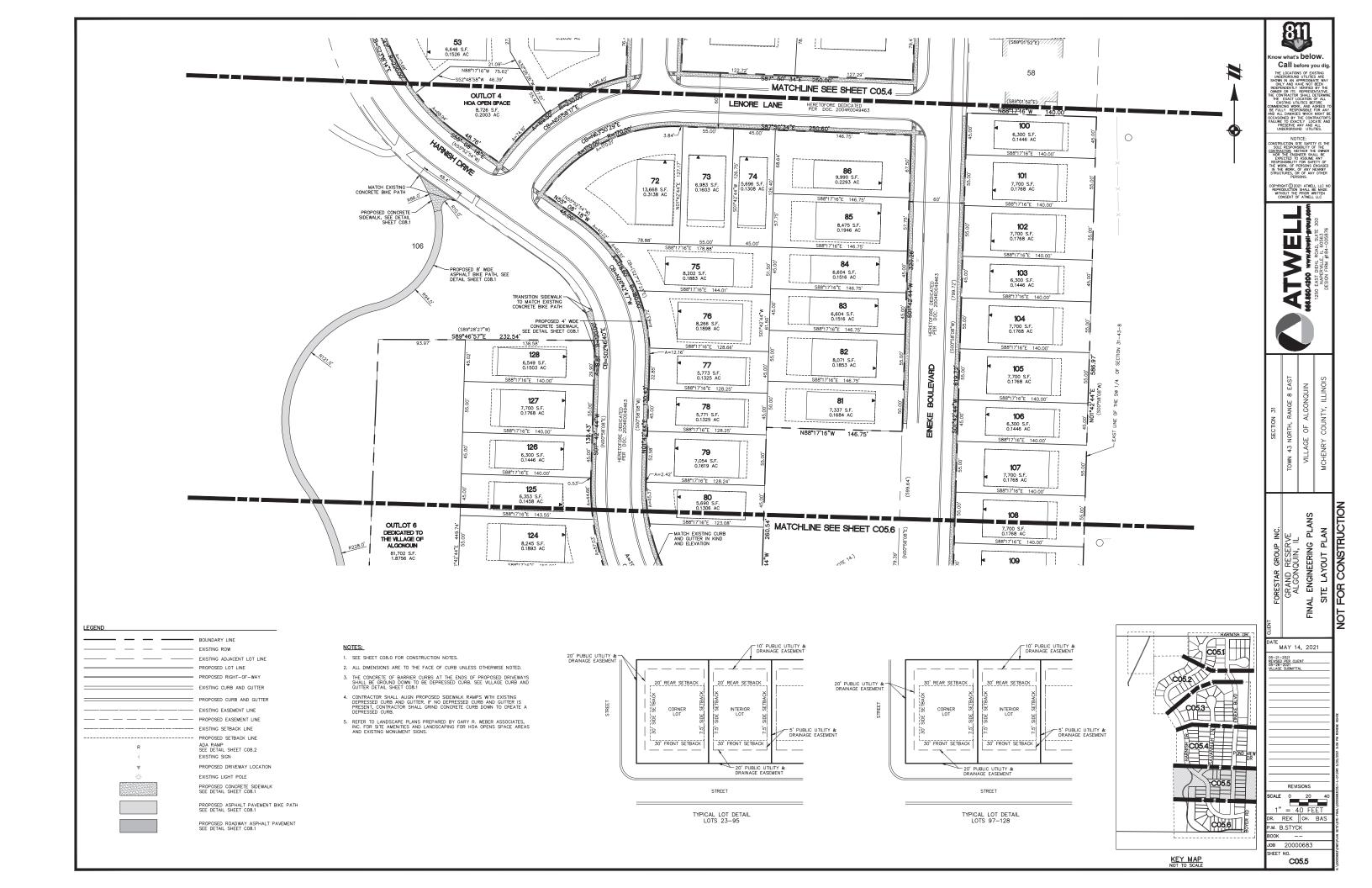
- 1. SEE SHEET CO8.0 FOR CONSTRUCTION NOTES.
- 2. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- 3. THE CONCRETE OF BARRIER CURBS AT THE ENDS OF PROPOSED DRIVEWAYS SHALL BE GROUND DOWN TO BE DEPRESSED CURB. SEE VILLAGE CURB AND GUTTER DETAIL SHEET COB.1
- 4. CONTRACTOR SHALL ALIGN PROPOSED SIDEWALK RAMPS WITH EXISTING DEPRESSED CURB AND GUTTER. IF NO DEPRESSED CURB AND GUTTER IS PRESENT, CONTRACTOR SHALL GRIND CONCRETE CURB DOWN TO CREATE A DEPRESSED CURB.
- REFER TO LANDSCAPE PLANS PREPARED BY GARY R. WEBER ASSOCIATES, INC. FOR SITE AMENTIES AND LANDSCAPING FOR HOA OPENS SPACE AREAS AND EXISTING MONUMENT SIGNS.

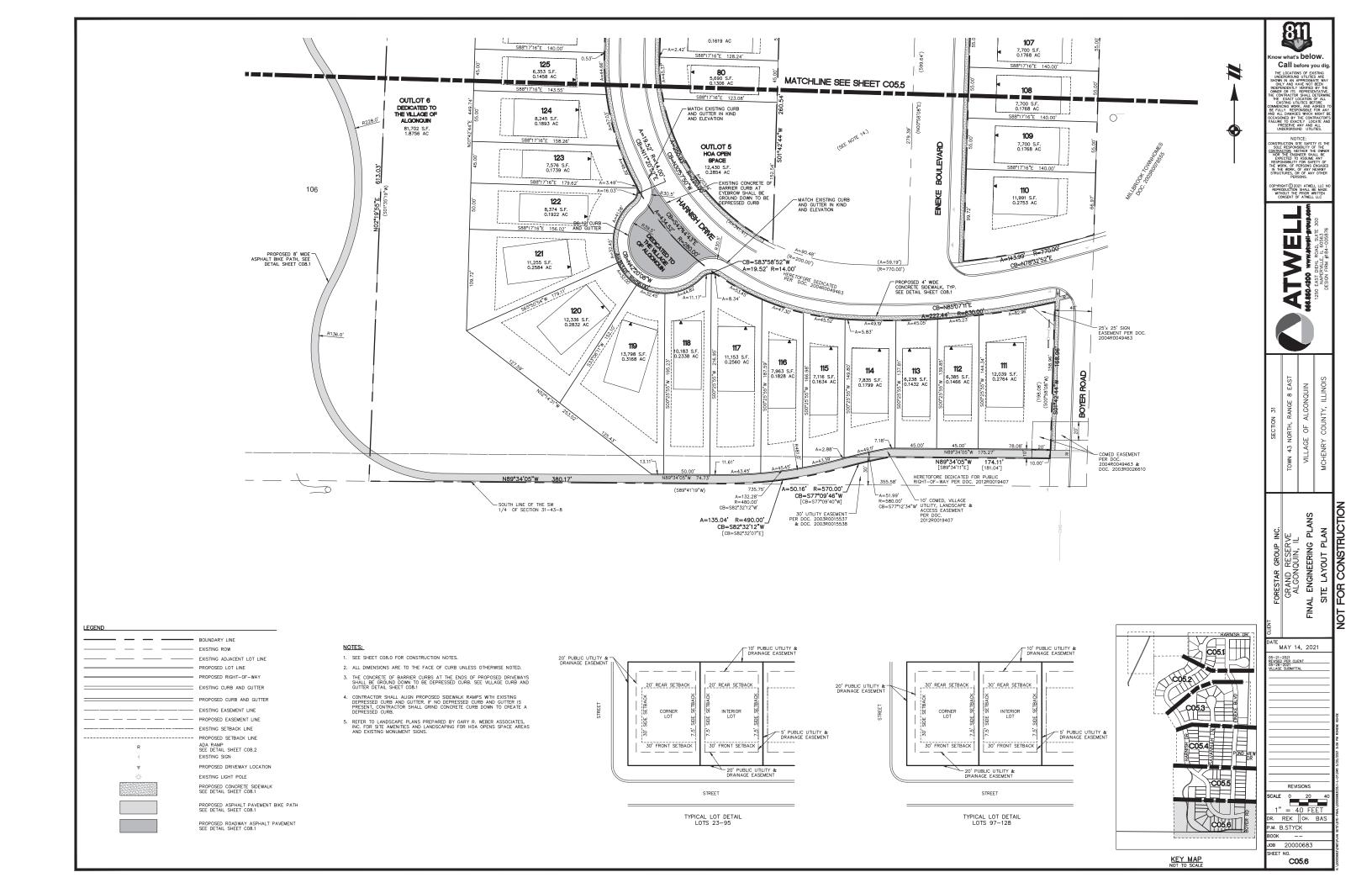












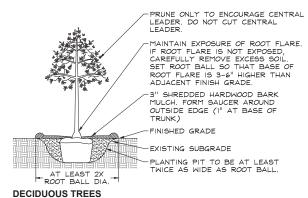
PLANTING DETAILS

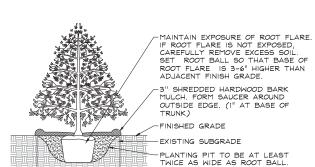


PERENNIALS AND GROUNDCOVERS

-AVOID PLACING SOIL OVER ROOT CROWN. SET ROOT BALL 3-6" HIGHER THAN FINISHED GRADE. -2" SHREDDED HARDWOOD BARK MULCH. FORM SAUCER AROUND OUTSIDE. -FINISHED GRADE -EXISTING SUBGRADE

DECIDUOUS AND EVERGREEN SHRUBS



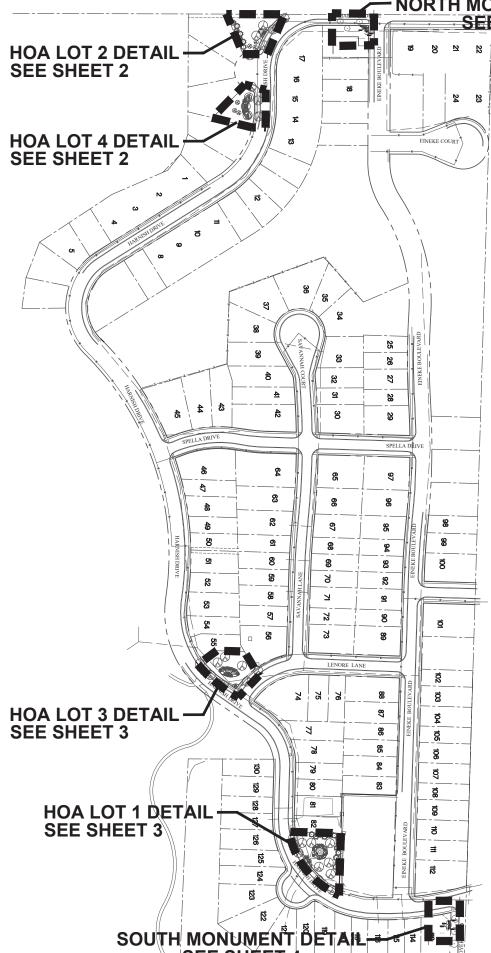


AT LEAST 2X ROOT BALL DIA **EVERGREEN TREES** NOT TO SCALE

GENERAL NOTES

- 1. Contractor shall verify underground utility lines and is responsible for any damage.
- 2. Contractor shall verify all existing conditions in the field prior to construction and shall notify landscape architect of any variance.
- Material quantities shown are for contractors convenience only. The Contractor must verify all material and supply sufficient materials to complete the job per plan.
- 4. The landscape architect reserves the right to inspect trees and shrubs either at place of growth or at site before planting, for compliance with requirements of variety, size and
- Work shall conform to American Standard for Nursery Stock, State of Illinois Horticultural Standards, and Local Municipal requirements.
- 6. Contractor shall secure and pay for all permits, fees, and inspections necessary for the proper execution of this work and comply with all codes applicable to this work.
- 7. See General Conditions and Specifications for landscape work for additional requirements.





SEE SHEET 4

DI ANT LICT

Key	Qty	Botonical/Common Name	Size	Remarks
		SHADE TREES		
AA	11	Acer x freemanii 'Marmo' MARMO FREEMAN MAPLE	2 1/2" Cal.	
AS	3	Acer x saccharum 'Green Mountain' GREEN MOUNTAIN SUGAR MAPLE	2 1/2" Cal.	
co	9	Celtis occidentalis COMMON HACKBERRY	2 1/2" Cal.	
LT	5	Liriodendron tulipifera TULIP TREE	2 1/2" Cal.	
QI	1	Quercus imbricaria SHINGLE OAK	2 1/2" Cal.	
QR	1	Quercus rubra RED OAK	2 1/2" Cal.	
TA	1	Tilia americana 'Redmond' REDMOND AMERICAN LINDEN	2 1/2" Cal.	
		ORNAMENTAL TREES		
AG	2	Amelanchier x grandiflora APPLE SERVICEBERRY	6' Ht.	Multi-Stem
BN	4	Betula nigra 'Cully' HERITAGE RIVER BIRCH	6' Ht.	Multi-Stem
BP	7	Betula populifolia 'Whitespire' WHITESPIRE GREY BIRCH	6' Ht.	Multi-Stem
cc	6	Cercis canadensis EASTERN REDBUD	6' Ht.	Multi-Stem
СТ	2	Crataegus crusgalli var. inermis THORNLESS COCKSPUR HAWTHORN	6' Ht.	
AC	14	EVERGREEN TREES Abies concolor WHITE FIR	6' Ht.	
PG	6	Picea glauca var. densata BLACK HILLS SPRUCE	6' Ht.	
		DECIDUOUS SHRUBS		
SF	16	Cornus sericea 'Farrow' ARCTIC FIRE REDTWIG DOGWOOD	24" Tall	3' O.C.
=G	26	Fothergilla gadernii DWARF FOTEHRGILLA	24" Tall	3' O.C.
на	13	Hydrangea quercifalia 'Pee Wee' PEE WEE OAKLEAF HYDRANGEA	24" Tall	4' O.C.
VΤ	12	Viburnum trilobum 'Redwing' JN SELECT CRANBERRYBUSH VIBURNU	36" Tall M	5' O.C.
		EVERGREEN SHRUBS		
JK	12	Juniperus chinensis 'Kallays Compact' KALLAYS COMPACT PFITZER JUNIPER	24" Wide	3'-6" O.C
JB	6	Juniperus conferta 'Blue Pacific' BLUE PACIFIC JUNIPER	24" Wide	41 O.C.
TE	10	Taxus x media 'Everlow' EVERLOW YEW	24" Wide	4' O.C.
ck	12	ORNAMENTAL GRASSES Calamagnostis x acutiflora 'Karl Foerster	' #1	30° O.C.
PV	1	FEATHER REED GRASS Panicum virgatum 'Northwind'	#1	30° O.C.
SH	137	NORTHWIND SWITCHGRASS Sporobolus heterolepis	#1	24" O.C.
		PRAIRIE DROPSEED		
ΑB	204	PERENNIALS Allium 'Summer Beauty'	#1	18" O.C.
EC	24	SUMMER BEAUTY ONION Echinacea 'CBG Cone 2' PIXIE MEADOWBRITE CONEFLOWER	#1	18" O.C.
GB	79	Geranium 'Braokside'	#1	18" O.C.
44	28	BROOKSIDE GERANIUM Hemerocallis 'Happy Returns'	#1	18" O.C.
HR	82	HAPPY RETURNS DAYLILY Hemerocallis 'Rosy Returns'	#1	18" O.C.
HP	223	ROSY RETURNS DAYLILY Hosta 'Patriot	#1	24" O.C.
NM	79	PATRIOT HOSTA Nepeta racemosa 'Walker's Low'	#1	18" O.C.
RG	148	WALKER'S LOW CATMINT Rudbeckia fulgida 'Goldsturm' GOLDSTRUM BLACK-EYED SUSAN	#1	18" O.C.
	41	MISC MATERIALS SHREDDED HARDWOOD MULCH	C.Y.	
	23	BOULDER	TON	
	1	FIREPLACE		



LANDSCAPE ARCSUTES TILE 402 W. LIBHRTY DRIVE WHEATON, ILLINOIS 6008, PHONES 630-668-7197

FORESTAR GROUP 750 BUNKER CT., SUITE 500 VERNON HILLS, IL 60061

ATWELL GROUP 1250 E. DIEHL ROAD, SUITE 300 NAPERVILLE, IL 60563

PLAN

Ш

LANDSCAP

OVERALL

ILLINOIS ALGONQUIN,

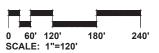
RESERVE GRAND

REVISIONS

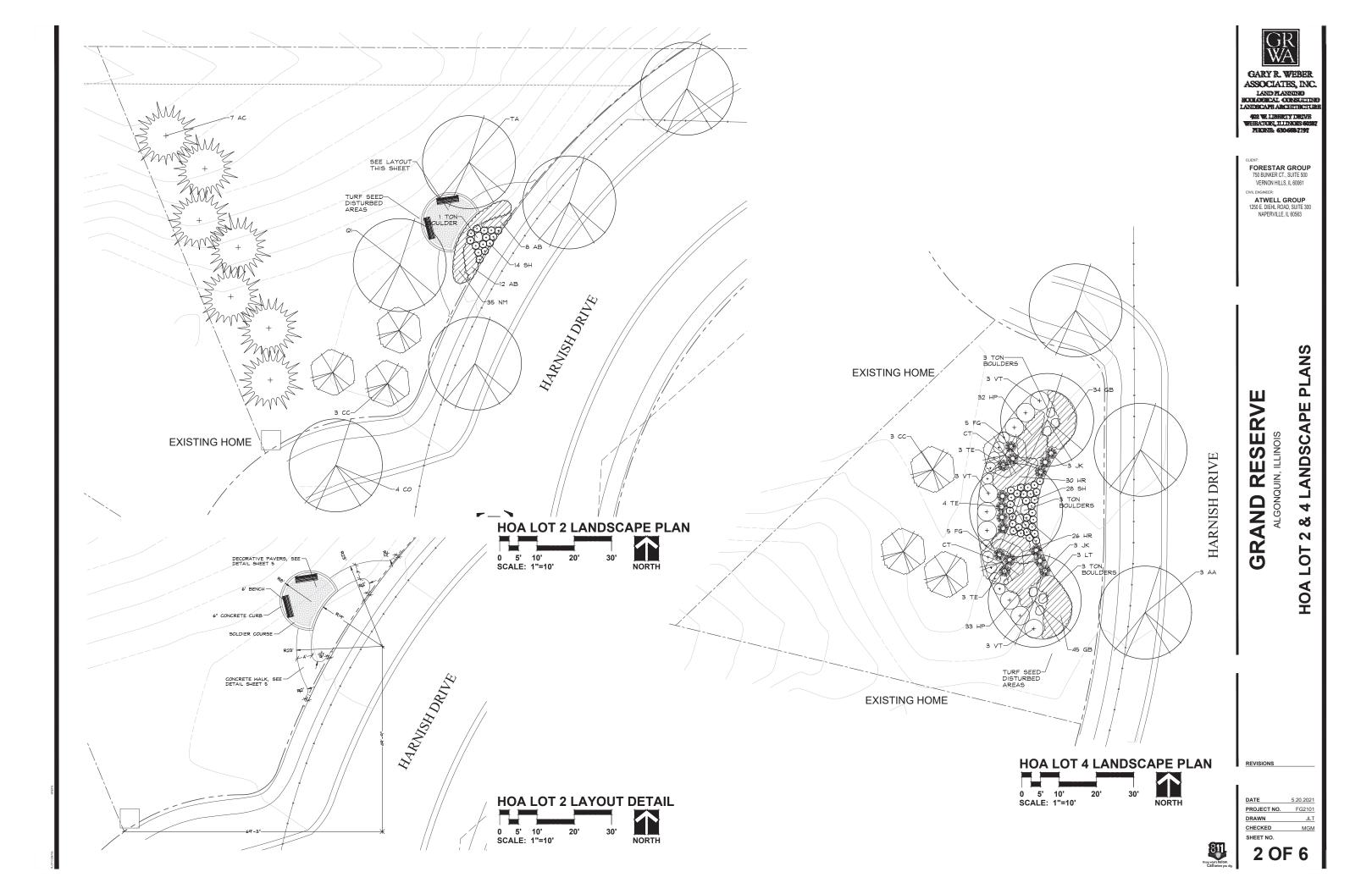
DATE 5.20.2021 PROJECT NO. FG2101 DRAWN CHECKED MGM SHEET NO.

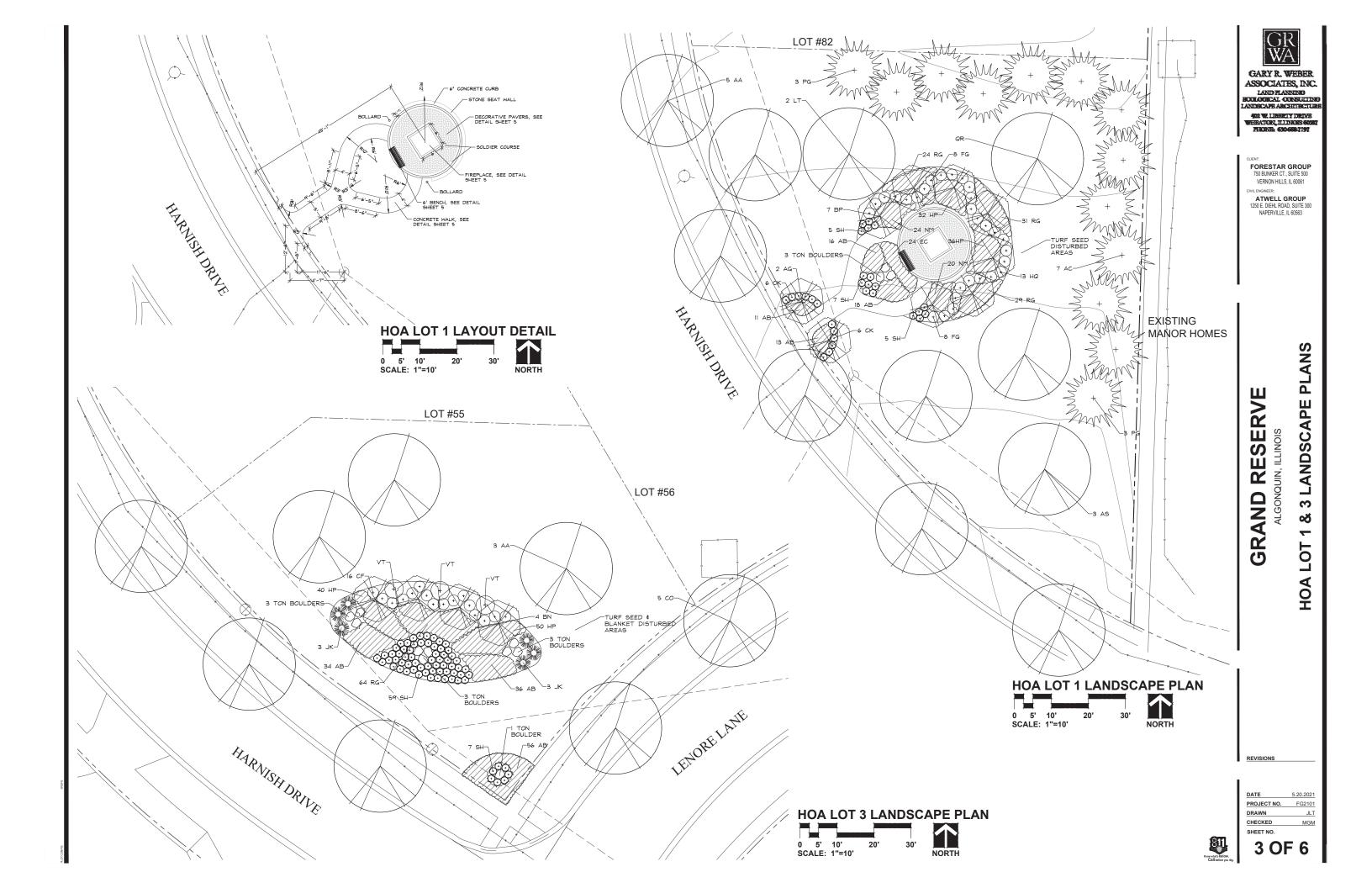






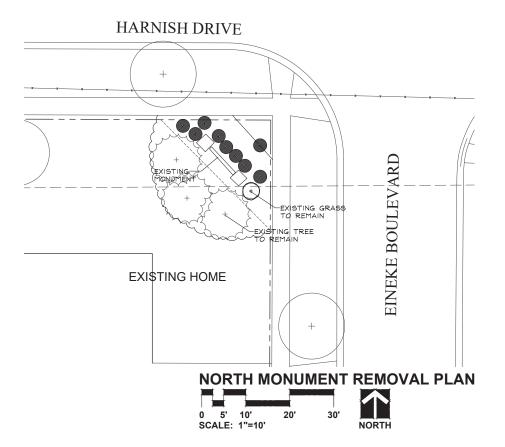


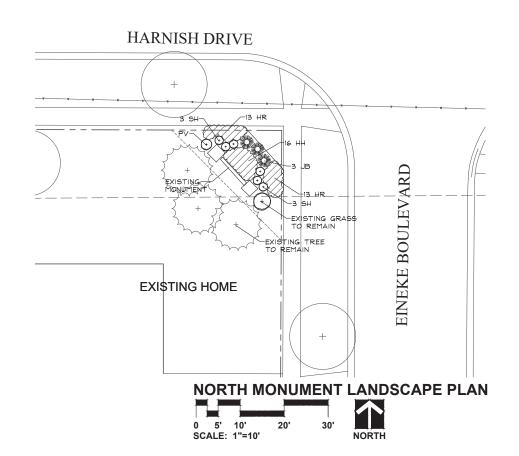


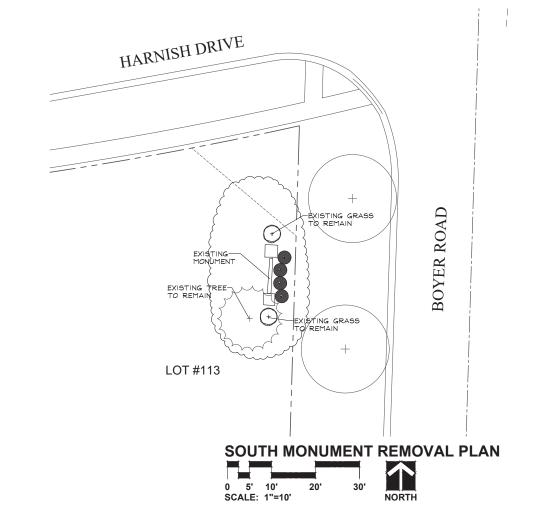


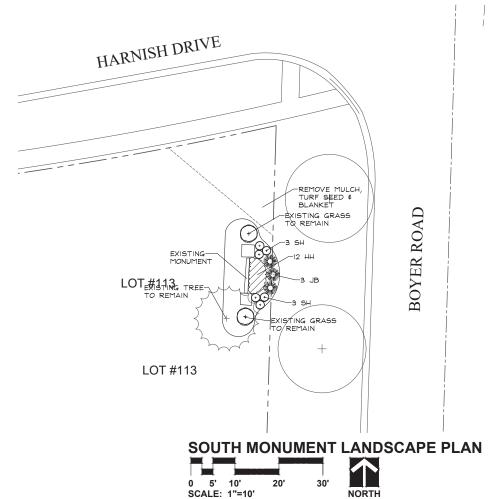
LEGEND

SHRUBS TO BE REMOVED











GARY R. WEBER ASSOCIATES, INC. LAND PLANNING BOOLOGICAL CONSULTING LANDSCAPS ARCHITECTURE

402 W. LIBERTY DRIVE WHEATON, ILLINOIS 60087 PHONES 630-668-7197

FORESTAR GROUP 750 BUNKER CT., SUITE 500 VERNON HILLS, IL 60061

ATWELL GROUP
1250 E. DIEHL ROAD, SUITE 300
NAPERVILLE, IL 60563

PLANS REMOVAL

ŏ

GRAND RESERVE ALGONQUIN, ILLINOIS

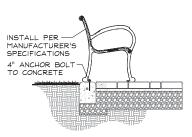
LANDSCAPE MONUMENT

REVISIONS

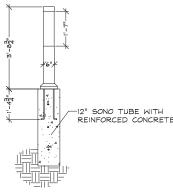
PROJECT NO. FG2101 DRAWN CHECKED SHEET NO.

4 OF 6





BENCH DETAIL NOT TO SCALE



BOLLARD DETAIL SCALE: 1/2"=1'-0"

-SPARK ARRESTOR

-NATURAL STONE VENEER(1)

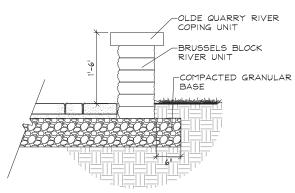
-5" PRECAST CONCRETE(2)

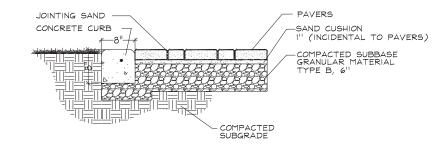
-3" PRECAST CONCRETE(2)

-6 " PRECAST CONCRETE(2)

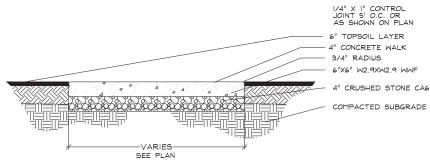
-3" PRECAST CONCRETE(2)

-FIREPLACE SCREEN





PAVER DETAIL NOT TO SCALE



CONCRETE WALK DETAIL NOT TO SCALE

SITE FURNISHING SCHEDULE

c	CONCRETE WA	-VARIESSEE PLAN			ESERVE
SITE FURNISHING	S SCHEDULE MANUFACTURER	MODEL	QUANTITY	DETAILS	ND R
ORNAMENTAL PAVERS	UNILOCK	IL CAMPO	427 S.F.	COLOR: GRANITE LAYING PATTERN:IL CAMPO E	
CONCRETE CURB			112 L.F.		1 62
SEATWALL	UNILOCK	BRUSSELS BLOCK	54 F.F.	COLOR: RIVER	<u></u>
COPING	UNILOCK	OLDE QUARRY	43 L.F.	COLOR: RIVER	
BENCH	DUMOR	BENCH 160	3	SURFACE MOUNTED COLOR: BLACK OPTIONS: ARMREST	
BOLLARD	FORM ¢ SURFACE	LIGHT COLUMN BOLLARD SERIES 600, ILLUMINATED	3	COLOR: BLACK HEIGHT: 3'-9" OUTLET INCLUDED	

I)NATURAL STONE: EDEN ROYAL CHATEAU TUMBLED STONE BY EDEN VALDERS STONE OR APPROVED EQUAL

2)PRE-CAST CONCRETE CAP AND BANDS COLOR: CREAM BY CUSTOM STONE WORKS, INC OR APPROVED EQUAL

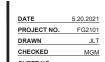
3)FIRE PIT BURNER: HPC SQUARE DROP-IM ELECTRONIC IGNITION FIRE PIT BURNER KIT BY STARFIRE DIRECT OR APPROVED EQUAL SIZE: 30° X30"

4)FIRE GLASS: EGYPTIAN GOLD

FIREPLACE ELEVATION SCALE: 1/2"=1'-0"

FIREPLACE SECTION A-A1

به مربع به به نه نه به به نه به نه نه نه نه



REVISIONS

GARY R. WEBER ASSOCIATES, INC.

LAND PLANNING BOXLOGICAL CONSULTING

402 W. LIBERTY DRIVE WHEATON, ILLINOIS 60087

PERCENTE: 630668-7197

FORESTAR GROUP

750 BUNKER CT., SUITE 500 VERNON HILLS, IL 60061

ATWELL GROUP 1250 E. DIEHL ROAD, SUITE 300

NAPERVILLE, IL 60563

S

DETAIL

AMENITY

ALGONQUIN, ILLINOIS



5 OF

REINFORCED CONCRETE

SEATWALL DETAIL NOT TO SCALE

-SPARK ARRESTOR

PRECAST CONCRETE(2)

-NATURAL STONE VENEER(1)

-3" PRECAST CONCRETE(2)

PRECAST CONCRETE(2) -FIREPLACE SCREEN

-30" HPC GAS BURNER W/

PUSH BUTTON IGNITION(3)

PRECAST CONCRETE(2)

-4" REINFOPRCED CONCRETE SLAB OVER MIN 4" COMPACTED GRANULAR FILL

-MIN 42" DEEP REINFORCED CONCRETE FOUNDATION TO BE DESIGNED BY A STRUCTURAL ENGINEER PROVIDED BY CONTRACTOR TYP.

-COMPACTED SUBGRADE TYP.

-SMOKE CHAMBER

4" CRUSHED STONE CA6

SCALE: 1/2"=1'-0"

FIRE BRICK-

FIRE GLASS(4), 2" DEPTH-

FIRE BRICK-

LANDSCAPE WORK PART 1 - GENERAL

1.1 DESCRIPTION OF WORK

The work shall consist of furnishing, transporting and installing all seeds, plants and other materials required for:

1. The establishment of trees, shrubs, perennial, annual and lawn areas as shown

- n Lanascape Flan; The provision of post-planting management as specified herein;
- Any remedial operations necessary in conformance with the plans as specified in this document
- 5. Permits which may be required

1.2 QUALITY ASSURANCE

- A. Work shall conform to State of Illinois Horticultural Standards and local municipal
- B. Quality Control Procedures:
- Ship landscape materials with certificates of inspection as required by governmental authorities. Comply with governing regulations applicable to landscape materials.
- 2. Do not make substitutions. If specified landscape material is not obtainable submit to Landscape Architect proof of non-availability and proposal for use of equivalent material.
- 3. Analysis and Standards: Package standard products with manufacturers certified

1.3 SUBMITTALS

A. Plantina Schedule

Submit three (3) copies of the proposed planting schedule showing dates for each type of planting

B. Maintenance Instruction - Landscape Work

Submit two (2) copies of typewritten instructions recommending procedures to be established by the Owner for the maintenance of landscape work for one full year Submit prior to expiration of required maintenance periods.

Instructions shall include: watering, fertilizing, spraying, mulching and pruning for plant material and trimming groundcover. Instructions for watering, fertilizing and mowing grass areas shall be provided ten (10) days prior to request for inspection for final acceptance. Landscape Architect shall receive copies of all instructions when issued.

- C. Submit two (2) copies of soil test of existing topsoil with recommendations for soil
- D. Submit two (2) samples of shredded hardwood bark mulch, erosion control blankets, and all other products and materials as specified on plans to Landscape Architect for review and written approval.
- E. Nursery packing lists indicating the species and quantities of material installed must be provided to the Owner and/or Municipality upon request.

- A. Examine and evaluate grades, soils and water levels. Observe the conditions under which work is to be performed and notify Landscape Architect of unsatisfactory conditions. Do not proceed with the work until unsatisfactory conditions have been corrected in an acceptable manner.
- B. Utilities: Review underground utility location maps and plans; notify local utility location service; demonstrate an awareness of utility locations; and certify acceptance of liability for the protection of utilities during course of work. Contractor shall be responsible for any damage to utilities or property.
- C. Excavation: When conditions detrimental to plant growth are encountered such as rubble fill, adverse drainage conditions or obstructions, notify Landscape Architect before planting.

15 GUARANTEES

- A. Guarantee seeded and sodded areas through the specified maintenance period and
- B. Guarantee trees, shrubs, and perennials for a period of one year after date of acceptance against defects including death and unsatisfactory growth, except for defects resulting from neglect by Owner, abuse or damage by others or unusual phenomena or incidents which are beyond Landscape Installer's control.

LANDSCAPE WORK PART 2 - PLANT MATERIALS

2.1 LAWN SOD

Provide strongly rooted sod, not less than two (2) years old and free of weeds and undesirable native grasses. Provide only sod capable of growth and development when planted (Viable, not dormant) and in strips not more than $18^{\rm u}$ wide x 4' long. Provide sod composed of a 5-way blend of Kentucky Bluegrass such as: Midnight, Allure, Viva, Washington, Liberty.

Grass Seed: Provide fresh, clean, new crop seed complying with the tolerance for purity and germination established by the Official Seed Analysts of North America. Provide seed of the grass species, proportions and maximum percentage of weed seed, as specified.

- A. Lawn Seed Mixture 5 lbs. / 1,000 sq. ft.
- Kentucky Bluegrass 98/85 Cutter Perennial Ryegrass

- Spartan Hard Fescue
 Edge Perennial Ryegrass
 Express Perennial Ryegrass
 Pennlaun Creeping Red Fescue
- B. Temporary Lawn Seed Mixture 5 lbs. / 1,000 sq. ft.
- Kentucky Bluegrass 98/85 Perennial Ryegrass Annual Ryegrass
- C. Highlands Fescue Seed Mixture Mixture-7 lbs. / 1,000 sq. ft.
- 25%
- Discovery Hard Fescue
 Tiffany Chewings Fescue
 Florentine Creeping Red Fescue
 Bighorn Sheeps Fescue

2.3 GROUNDCOVERS, PERENNIALS AND ANNUALS

Provide plants established and well-rooted in removable containers or integral peat pots and with not less than the minimum number and length of runners required by ANSI Z60.1 for the pot size shown or listed.

2.4 TREES AND SHRUBS

- A. Name and Variety: Provide nursery grown plant material true to name and variety
- B. Quality: Provide trees, shrubs and other plants complying with the recommendations and requirements of ANSI Z60.1 "Standard for Nursery Stock" and
- C. Deciduous Trees: Provide trees of height and caliper listed or shown and with branching configuration recommended by ANSI Z60.1 for type and species required. Provide single stem trees except where special forms are shown or listed. Provide balled and burlapped (B\$B) deciduous trees.
- D. Deciduous Shrubs: Provide shrubs of the height shown or listed and with not less than the minimum number of canes required by ANSI Z60.1 for the type and height of shrub required. Provide balled and burlapped (B\$B) deciduous shrubs.
- E. Coniferous Evergreen: Provide evergreens of the sizes shown or listed. Dimensions Contrerous Evergreen: Provide evergreens of the sizes shown or listed. Dimension indicate minimum spread for spreading and semi-spreading type evergreens and height for other types. Provide quality evergreens with well-balanced form complying with requirements for other size relationships to the primary dimension Provide balled and burlapped (B&B) everageen trees and containerized
- growth or upon delivery and conformity to specification requirements as to quality, right of inspection and rejection upon delivery at the site or during the progress of the work for size and condition of balls or roots, diseases, insects and latent defects or injuries. Rejected plants shall be removed immediately from the site.

Provide planting soil mixture consisting of clean uncompacted topsoil (stockpiled at site) for all planting pits, perennial, annual and groundcover areas. Topsoil shall be conditioned based on any recommendations resulting from the soil test in 1.3.C.

2.6 EROSION CONTROL

A. Erosion Control Blanket: North American Green S150, or equivalent approved equal.

Provide mulch consisting of shredded hardwood. Provide sample to Landscape Architect for approval prior to ordering materials.

LANDSCAPE WORK PART 3 - EXECUTION

At least thirty (30) days prior to the beginning of work in each area, submit a planting schedule for approval by the Landscape Architect

3.2 PLANTINGS

A. Sodding New Lawns

- Remove existing grass, vegetation and turf. Dispose of such material legally off-site, do not turn over into soil being prepared for lawns.
- Till to a depth of not less than 6"; apply soil amendments as needed; remove high areas and fill in depressions; till soil to a homogenous mixture of fine texture, remove lumps, clods, stones over 1" diameter, roots and other Dispose of such material legally off-site
- 3. Sodded areas shall receive an application of commercial fertilizer at the rate of 10 lbs. per 1,000 sq, ft. and shall have an analysis of 16-8-8.
- 4. Lay sod within 24 hours from time of stripping.
- 5. Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod strips; do not overlap. Stagger strips to offset joints in adjacent courses. Work from boards to avoid damage to subgrade or sod. Tamp or roll lightly to ensure contact with subgrade. Work sifted soil into minor cracks between pieces of sod; remove excess to avoid smothering of adjacent grass.
- 6. Water sod thoroughly with a fine spray immediately after planting.

B. Seedina New Lawns

- Remove existing grass, vegetation and turf. Dispose of such material legally off-site. Do not turn over into soil being prepared for lawns.
- Till to a depth of not less than 6"; apply soil amendments; remove high areas
 and fill in depressions; till soil to a homogenous mixture of fine texture, remove
 lumps, clods, stones over 1" diameter, roots and other extraneous matter. Dispose of such material legally off-site
- Seeded lawn areas shall receive an application of commercial fertilizer at the rate of 5 lbs. per 1,000 sq. ft. and shall be 6-24-24. Fertilizer shall be uniformly spread and mixed into the soil to a depth of 1° inches.
- 4. Do not use wet seed or seed which is moldy or otherwise damaged in transit or
- 5. Sow seed using a spreader or seeding machine. Do not seed when wind velocity exceeds five (5) miles per hour. Distribute seed evenly over entire area by sowing equal quantity in two directions at right angles to each other
- 7. Rake lawn seed lightly into top 1" of soil, roll lightly and water with a fine
- 8 DO NOT MOW HIGHLANDS FESCUE SEED MIXTURE

C. Groundcover and Perennial Beds

Groundcover, perennials, and annuals shall be planted in continuous beds of planting soil mixture a minimum of $8^{\prime\prime}$ deep. Install per spacing indicated on plan.

D. Trees and Shrubs

- 1. Set balled and burlapped (B\$B) stock plumb and in center of pit or trench with top of ball at an elevation that will keep the root flare exposed upon backfill top of ball at an elevation that will keep the root flare exposed upon backfill and mulching. Remove burlap from top and sides of balls; retain on bottoms. When set, place additional topsoil backfill around base and sides of ball and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Repeat watering until no more is absorbed. Water again after placing final layer of backfill.
- Dish top of backfill to allow for mulching. Provide additional backfill berm around edge of excavations to form shallow saucer to collect water.
- 3. Mulch pits, trenches and planted areas. Provide not less than 2" thickness of mulch and work into top of backfill and finish level with adjacent finish grades Maintain exposed root flare at all times
- 4. Prune only injured or dead branches from flowering trees, if any. Protect central leader of tree during shipping and pruning operations. Prune shrubs to retain natural character in accordance with standard horticultural practices.
- 5. Remove and replace excessively pruned or ill-formed stock resulting from
- 6. The Contractor shall be wholly responsible for assuring that all trees are planted in a vertical and plumb position and remain so throughout the life of this contract and guarantee period. Trees may or may not be staked and guyed depending upon the individual preference of the Contractor; however, any bracing procedure(s) must be approved by the Owner prior to its installation

3.3 INITIAL MAINTENANCE

- A. Begin maintenance immediately after planting, continuing until final acceptance. A num of thirty (30) days
- B. Maintain planted and seeded areas by watering, rolling/regrading, replanting and implementing erosion control as required to establish vegetation free of eroded or
- C. Highlands Fescue areas are to be mowed only once per spring during the initial

3.4 CLEAN UP AND PROTECTION

- A. During landscape work, store materials and equipment where directed. Keep ments clean and work areas and adjoining areas in an orderly condition.
- B. Protect landscape work and materials from damage due to landscape operations, operations by other trades and trespassers. Maintain protection during installation and maintenance periods. Treat, repair or replace damaged landscape work as directed by Landscape Architect.

3.5 INSPECTION AND ACCEPTANCE

- A. The Landscape Architect reserves the right to inspect seeds, plants, trees and shrubs either at place of growth or at site before planting for compliance with requirements for name, variety, size, quantity, quality and mix proportion.
- B. Supply written affidavit certifying composition of seed mixtures and integrity of species, variety and source

D. When the landscape work is completed, including maintenance, the Landscape Architect will, upon request, make a final inspection to determine acceptabilit After final acceptance, the Owner will be responsible for maintenance.

C. Notify the Landscape Architect within five (5) days after completing initial and/or supplemental plantings in each area.



402 W. LIBRETY DRIVE WHEATERY III DRIVE 5008 PHONE: 630668-7197

FORESTAR GROUP 750 BUNKER CT SUITE 500 VERNON HILLS, IL 60061

ATWELL GROUP 1250 E. DIEHL ROAD, SUITE 300 NAPERVILLE, IL 60563

ATION ILLINOIS FIC. ALGONQU $\overline{\mathbf{c}}$ Ш

Δ.

ш

R V

Ш

S

Ш

~

AND

C

REVISIONS

DATE 5.20.2021 PROJECT NO. FG2101 DRAWN CHECKED MGM SHEET NO.



6 OF

Algonquin, IL Grand Reserve – Building Elevations

<u>Arlington</u>





В Α



Bedford





A B



Bristol





A B



Clifton





A B



Dover





Α В



Freedom Series 300





F300-A2 F300-A4





F300-B2 F300-B4





F300-C2 F300-C4





F301-A2 F301-A4





F301-B2 F301-B4





F301-C2 F301-C4





F302-A2 F302-A4





F302-B2 F302-B4



F302-C2



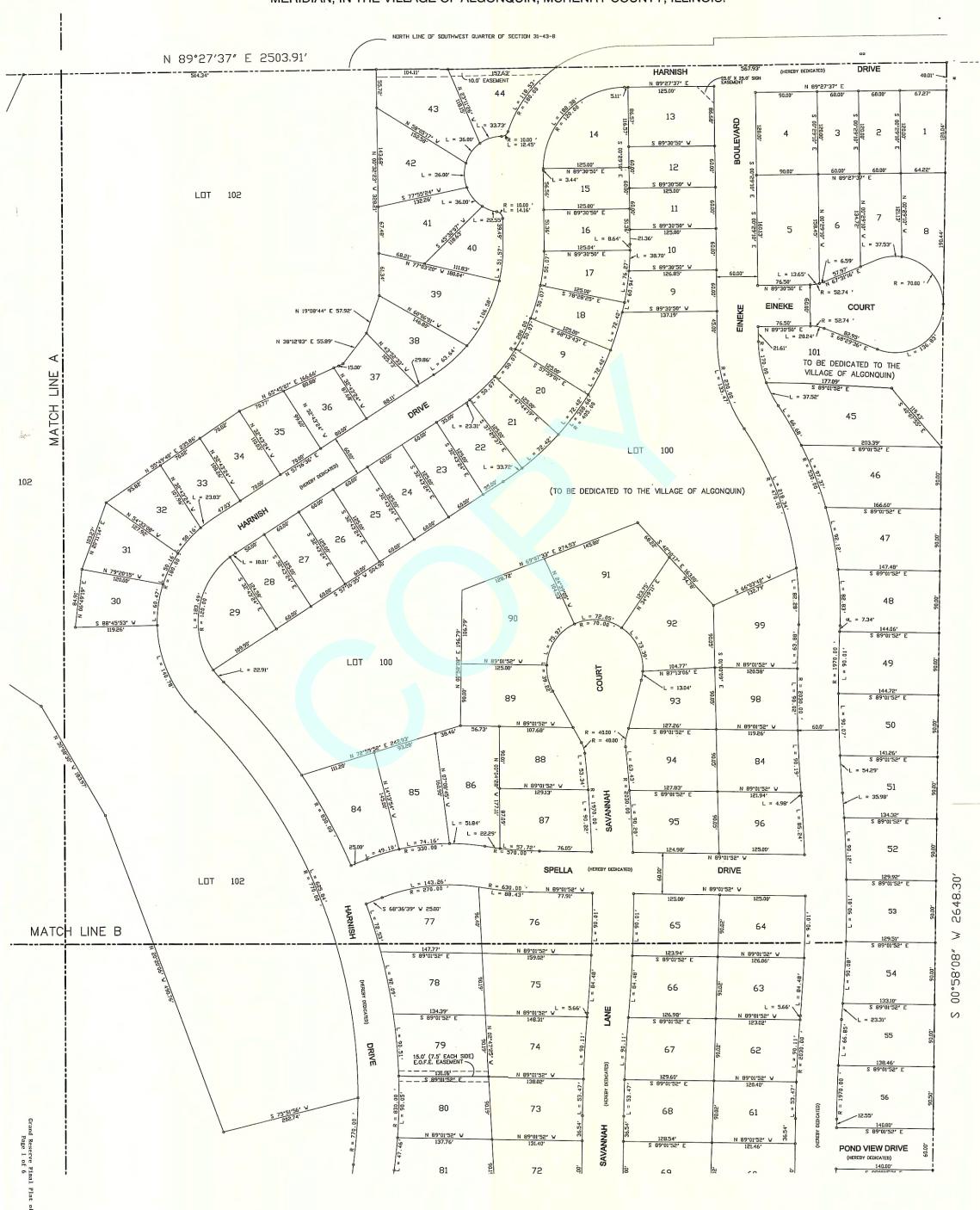
F302-C4

FINAL PLAT

GRAND RESERVE SUBDIVISION

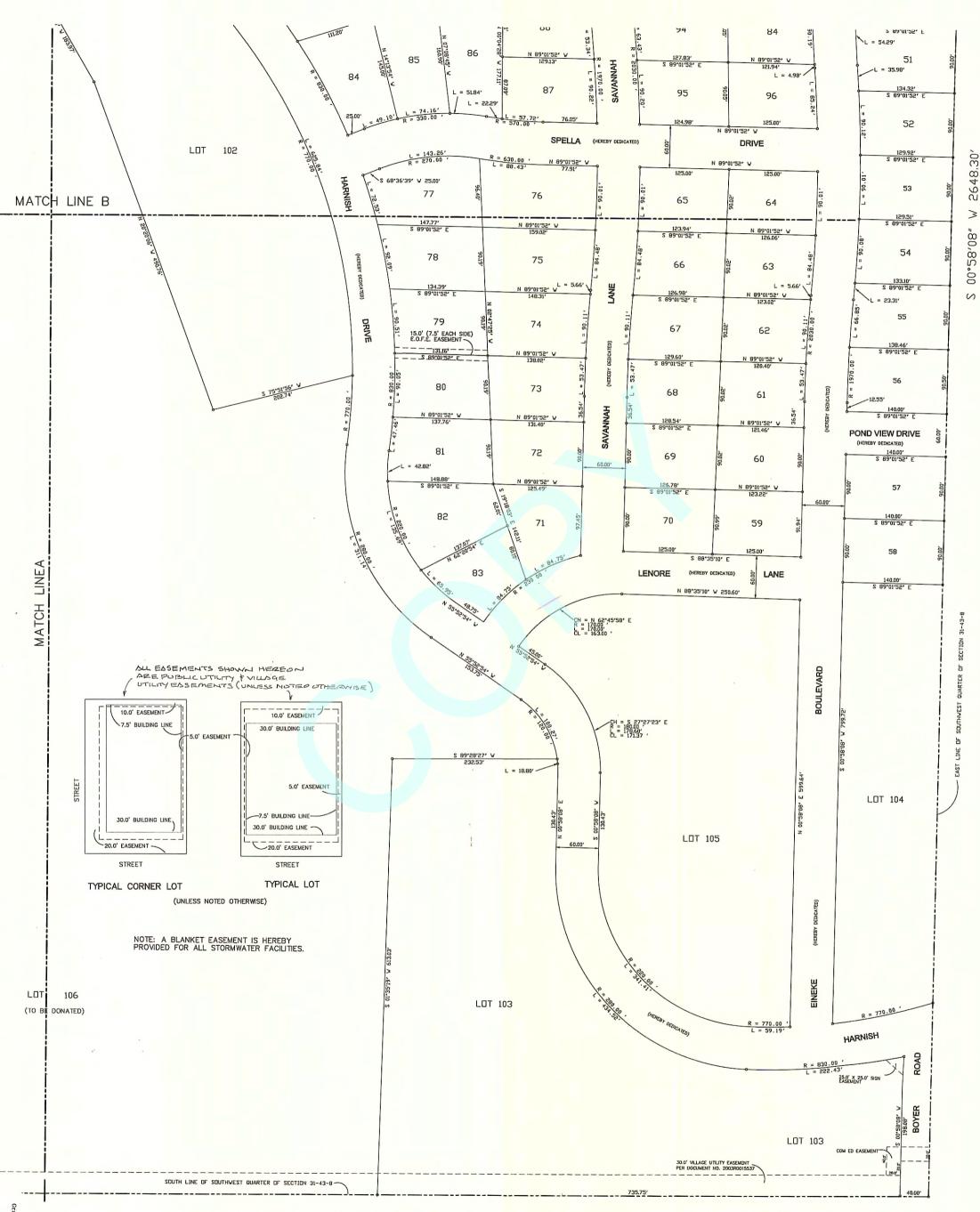
SHEET 1 OF 5

BEING A SUBDIVISION OF THE SOUTHWEST FRACTIONAL QUARTER OF SECTION 31, TOWNSHIP 43 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE VILLAGE OF ALGONQUIN, MCHENRY COUNTY, ILLINOIS.

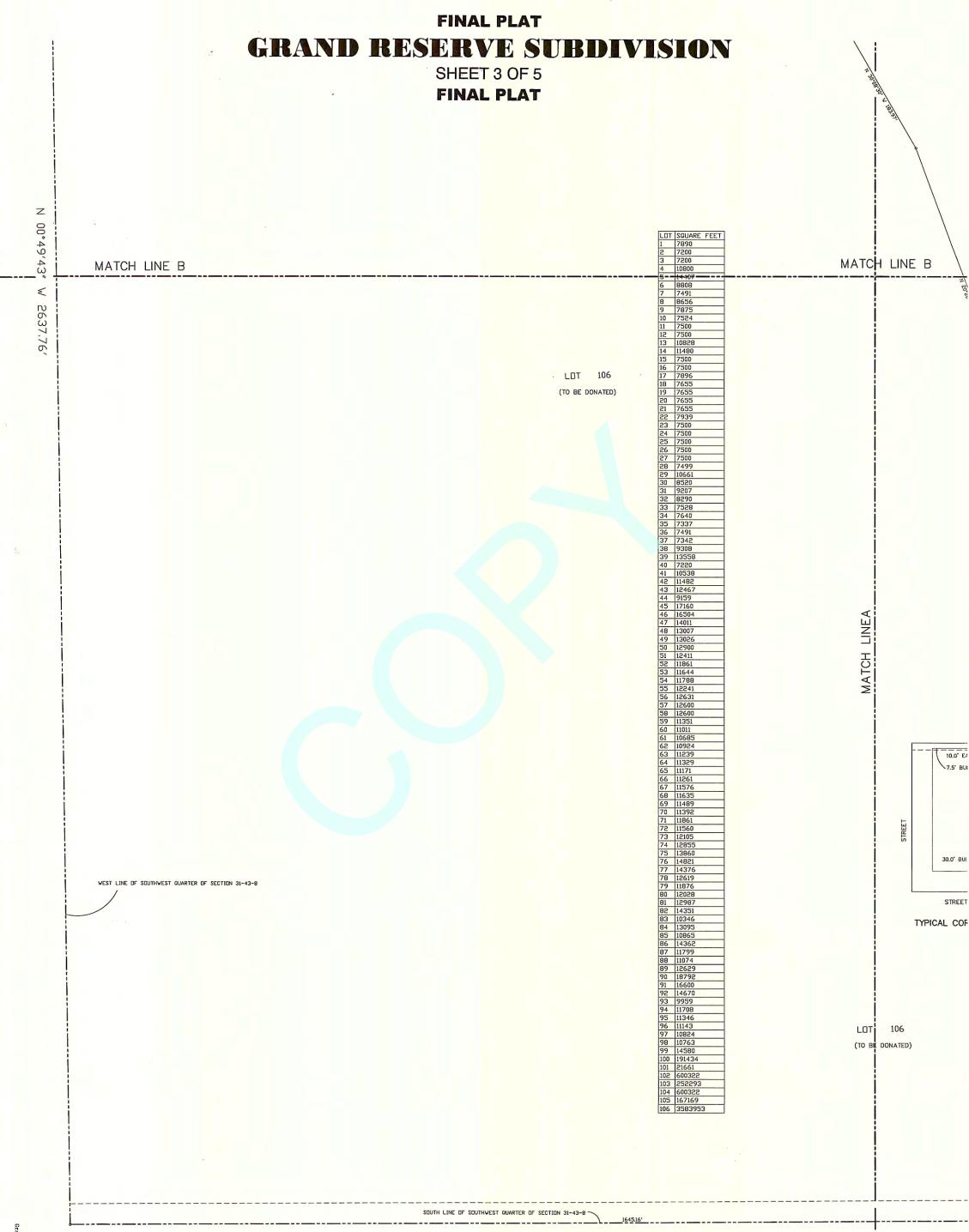


GRAND RESERVE SUBDIVISION

SHEET 2 OF 5



S 89°41′19″ W 2420,90′

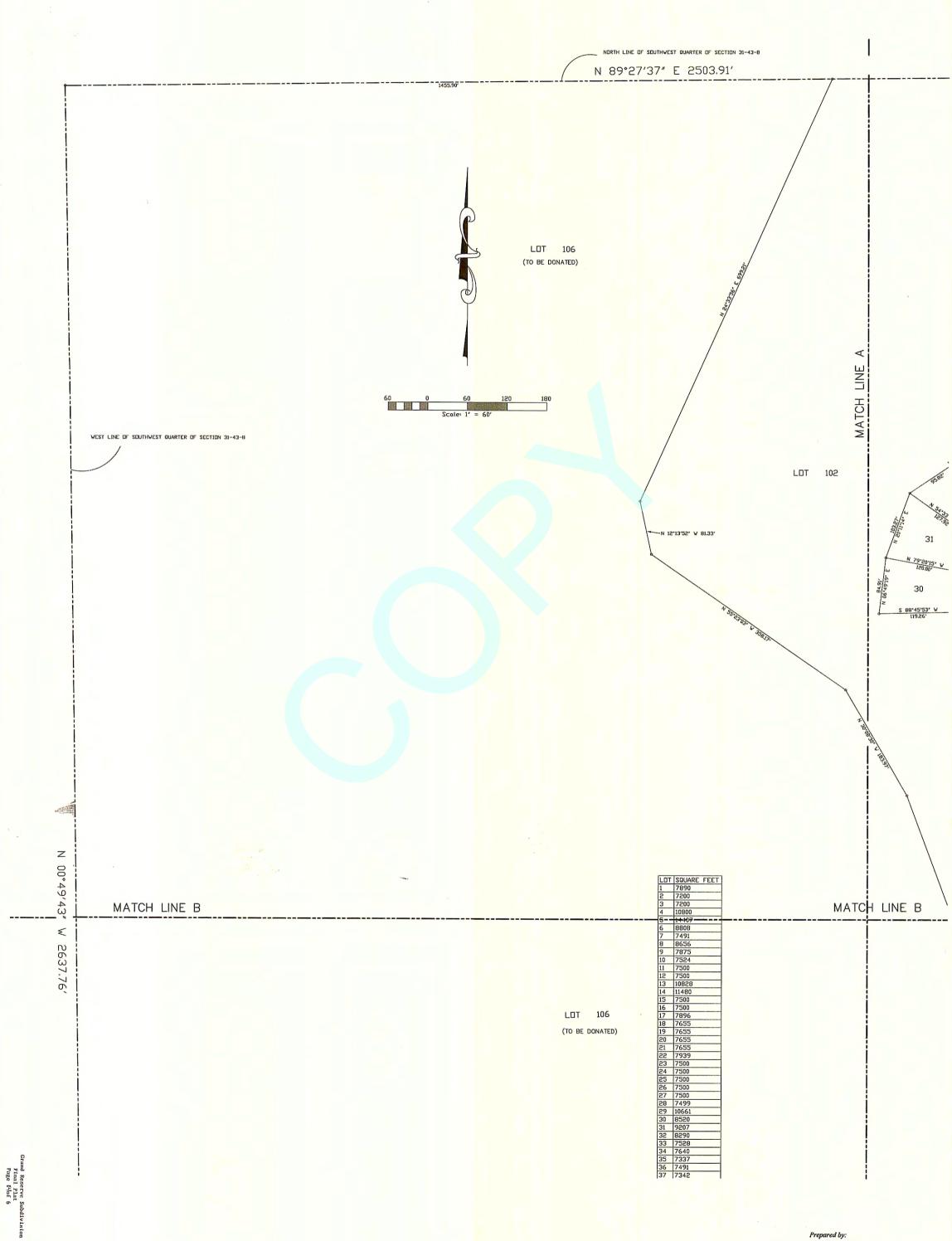


S 89°41′19″ W 2420.90′

Prepared by:
ALAN J. COULSON, P.C.
Professional Land Surveyors
205 WEST MAIN STREET,
WEST DUNDEE, ILLINOIS 60118
PHONE: (847) 426-2911

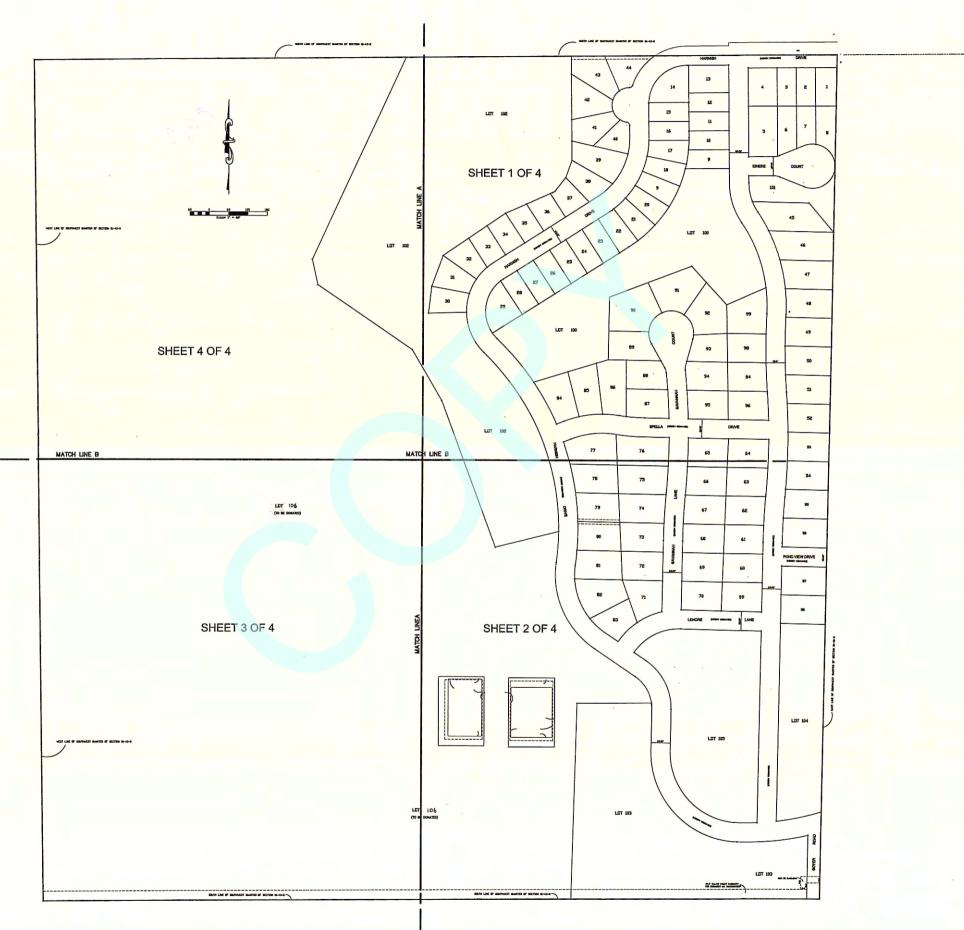
GRAND RESERVE SUBDIVISION

SHEET 4 OF 5



Prepared by:
ALAN J. COULSON, P.C.
Professional Land Surveyors
205 WEST MAIN STREET,
WEST DUNDEE, ILLINOIS 60118
PHONE: (847) 426-2911

COVER SHEET-GRAND RESERVE SUBDIVISION



COPY

Prepared by: ALAN J. COULSON, P.C.

205 WEST MAIN STREET, WEST DUNDEE, ILLINOIS 60118 PHONE: (847) 426-2911



VILLAGE OF ALGONQUIN MEMORANDUM

To: Tim Schloneger, Village Manager

From: Susan Skillman, Comptroller

Date: July 26, 2021

Re: Budget Amendment – Fiscal Year Ending April 30, 2021

Village department heads submitted requests to increase their budget for Fiscal Year Ending April 30, 2021, that requires approval by the Village Board. Budget Ordinance No. 2020–O–13 created spending authority for Fiscal Year Ending April 30, 2021. Illinois statutes allow the Village Board to delete, add to, or change the budget by a vote of two-thirds of the corporate authorities then holding office.

Exhibit A summarizes the budget revisions to the various line items made during fiscal year ending April 30, 2021. Spending for these revisions has caused the original fund budgets to be exceeded. Budget amendments for these increases to budgeted expenditures are justified under Illinois statutes as follows: budget increases for expenditures may be made due to the use of Fund Balance (cash reserves) that existed at the beginning of the fiscal year. The preliminary change in fund balance (Expenditures over Revenues) in the General Fund indicates an increase of \$1,235,739.39 at April 30, 2021.

The amendment requires the two-thirds approval of the Village Board. A draft budget amendment ordinance with Exhibit A is also attached. The changes, which are shown on Exhibit A, are explained as follows:

<u>Park Improvement Fund</u>: The expenditure budget for capital improvements increased \$300,000 relating to the Woods Creek Reach 4 project. The offset for this increase is in cash reserves in the beginning fund balance as this project was a carryover from FY 2020. The expenditure budget for infrastructure maintenance improvements increased \$46,000 due to the demolition of two buildings at the Fields Property. The offset for this increase is in cash reserves in the beginning fund balance.

Water & Sewer Improvement Fund: Various capital expenditures increased a total of \$1,658,855 relating to the IEPA loan projects for Downtown Utilities Stage 3 (Sewer). The offset for this increase is the reimbursement proceeds from the IEPA loan.

<u>Development Fund</u>: The expenditure budget for snow removal increased \$100,000 due to additional funds needed for cul-de-sac snowplowing. The offset for this increase was from fund balance in the development fund.

Recommendation: Forward the draft ordinance with Exhibit A to the Village Board for consideration at the Committee of the Whole Board Meeting to amend the budget for Fiscal Year Ending April 30, 2021.

ORDINANCE NO. 2021-O-

AN ORDINANCE AMENDING THE VILLAGE OF ALGONQUIN ANNUAL BUDGET FOR FISCAL YEAR 2020-2021

WHEREAS, the Village of Algonquin, McHenry and Kane counties, Illinois, is a home rule municipality as contemplated under Article VII, Section 6, of the Constitution of the State of Illinois, and the passage of this Ordinance constitutes an exercise of the Village's home rule powers and functions as granted in the Constitution of the State of Illinois.

WHEREAS, the President and Board of Trustees of the Village of Algonquin, McHenry and Kane counties, Illinois, have adopted the budget form of financing by passing Ordinance 92-0-82, "An Ordinance Authorizing the Budget Process for Fiscal Years Beginning with the 1993-94 Fiscal Year and Amending the Algonquin Municipal Code," and subsequently passed Ordinance 2020-O-13 "An Ordinance Approving the Village of Algonquin Annual Budget for Fiscal Year 2020–2021"; and

WHEREAS, 65 ILCS 5/8-2-9.6 provides that by a vote of two-thirds of the corporate authorities then holding office, the annual budget "may be revised by deleting, adding to, changing or creating sub-classes within object classes and object classes themselves;" and

WHEREAS, since the passage of Ordinance 2020-O-13 the President and Board of Trustees have found it necessary to amend Ordinance 2020-O-13.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Algonquin, McHenry and Kane Counties, Illinois, as follows:

SECTION 1: That Ordinance 2020-O-13, "An Ordinance Approving the Village of Algonquin Annual Budget for Fiscal Year 2020–2021," shall be amended as depicted in Exhibit A, attached hereto and made a part hereof.

SECTION 2: If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be adjudged by any Court of competent Jurisdiction to be invalid, such judgment shall not affect, impair, invalidate or nullify the remainder thereof, which remainder shall remain and continue in full force and effect.

SECTION 3: All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 4: This Ordinance shall be in full force and effect upon its passage, approval and publication in pamphlet form (which publication is hereby authorized) as provided by law.

VOTING AYE:	
VOTING NAY:	
ABSTAIN:	
ABSENT:	
	APPROVED:
	Debby Sosine, Village President
ATTEST: Maggie Aug	er, Village Clerk
Passed:	
Approved:	
PUBLISHED IN PAMPHL	ET FORM:

Village of Algonquin Budget Amendments for the Year Ending 4/30/2021 Fund Balance Offset

Description		Original Budget		Revised Budget		Increase/ (Decrease)
Capital Improvements Infrastructure Maintenance Improvements	\$ \$	70,000 135,000 205,000	\$ \$	370,000 181,000 551,000	\$ \$	300,000 46,000 346,000
<u>Description</u> Engineering/Deisgn Services Wastewater Collection	\$ \$	Original <u>Budget</u> - - -	\$ \$	Revised <u>Budget</u> 1,445,000 213,855 1,658,855	\$ \$	Increase/ (<u>Decrease</u>) 1,445,000 213,855 1,658,855
Description Snow Removal	\$ \$	Original Budget 60,000 60,000	\$	Revised Budget 160,000 160,000	\$ \$	Increase/ (Decrease) 100,000 100,000
					\$	- 2,104,855
			\$ \$ \$ \$ \$ \$ \$	Increase -	/(De \$ \$ \$ \$ \$ \$	Expenditures corease) 346,000 - 1,658,855 100,000 2,104,855
	Infrastructure Maintenance Improvements Description Engineering/Deisgn Services Wastewater Collection Description	Capital Improvements \$ Infrastructure Maintenance Improvements \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	DescriptionBudgetCapital Improvements\$ 70,000Infrastructure Maintenance Improvements\$ 135,000\$ 205,000DescriptionBudgetEngineering/Deisgn Services\$ -Wastewater Collection\$ -\$ -DescriptionBudget	DescriptionBudgetCapital Improvements\$ 70,000 \$Infrastructure Maintenance Improvements\$ 135,000 \$\$ 205,000 \$\$ 205,000 \$DescriptionBudgetEngineering/Deisgn Services\$ - \$Wastewater Collection\$ - \$DescriptionBudgetSnow Removal\$ 60,000 \$\$ 60,000 \$\$ 60,000 \$\$ 60,000 \$\$ 60,000 \$	Description Budget Budget Capital Improvements \$ 70,000 \$ 370,000 Infrastructure Maintenance Improvements \$ 135,000 \$ 181,000 \$ 205,000 \$ 551,000 Description Budget Budget Engineering/Deisgn Services \$ - \$ 1,445,000 Wastewater Collection \$ - \$ 213,855 Description Budget Budget Budget Budget Snow Removal \$ 60,000 \$ 160,000 \$ 60,000 \$ 160,000 \$ 60,000 \$ 160,000 \$ - \$ - \$ - \$ - \$ - \$ - \$ - \$ - \$ - \$ 1,658,855	Description Budget Budget Capital Improvements Infrastructure Maintenance Improvements Infrastructure Maintenance Improvements Infrastructure Maintenance Improvements Infrastructure Maintenance Improvements



Village of Algonquin

Police Department

-MEMORANDUM-



DATE: August 5, 2021

TO: Tim Schloneger, Village Manager

FROM: John Bucci, Chief of Police

SUBJECT: Squad 92 Replacement Purchase

I am requesting permission to move forth with the purchase of a Ford Police Responder F-150 pick-up truck, with a total cost of \$66,680 (\$37,530 for vehicle and \$29,150 for additional equipment, lights, markings, etc.) This vehicle is a replacement vehicle for squad 92 that was "totaled" due to a rear-end traffic crash. Squad 92 had been assigned to the patrol division and was a fully marked 2014 Ford F-150 pick-up truck. Due to the utility of this vehicle, it was also used extensively during special events.

This vehicle is necessary as a shortage has been created in our fleet. Replacement of this vehicle will bring the fleet to the originally scheduled vehicle allotment. Not replacing the vehicle will create additional mileage and usage to vehicles in the fleet which has proven to create additional maintenance and repairs and increases the potential for vehicles being out of service on a more consistent basis.

The Village has received \$17,650 in insurance claims for the loss of squad 92. Additionally, an administrative vehicle was sold earlier in the fiscal year for \$19,397. It is our intent to apply cost-savings/surplus revenues realized during the current fiscal year to fund the residual difference of \$29,633.

It is my goal to maintain our fleet numbers which would require this replacement vehicle. I am presenting you with this memo for your approval to move this request forward to the Committee of the Whole for their consideration.

c: Michael Kumbera, Assistant Village Manager

2020 FORD F-150 POLICE RESPONDER ESTIMATE

2020 Ford F-150 Police Responder (Morrow Brothers Ford) LED Spotlight (Dealer Installed) Title and MP Plates (Dealer)	\$ 36,890.00 \$ 420.00 \$ 220.00
LEER 100R Truck Cap (Tri-County Tops)	\$ 2,000.00
Motoroal Starcom 21 APX 6500 Mobile Radio (Motorola)	\$ 6,000.00
Zebra ZQ520 Printer, Dock and Power Supply (CDS)	\$ 1,250.00
Panasonic CF-33 Tablet / Dock (CDS)	\$ 4,000.00
Computer Mount Hardware (CDS)	\$ 1,300.00
Police Equipment and Installation (Ultra Strobe)	\$ 14,000.00
Striping (Eby Graphics)	\$ 600.00

Total \$ 66,680.00