

**VILLAGE OF ALGONQUIN
PLANNING AND ZONING COMMISSION
AGENDA**

Regular Meeting
Monday, October 14, 2019
7:30 p.m.

Ganek Municipal Center, Board Room
2200 Harnish Drive

1. Roll Call - Establish Quorum
2. Request Approval of Minutes of the September 9, 2019 Meeting
3. Public Comment
4. Consideration of a Request for Final Planned Unit Development
Case No. 2019-15. Algonquin Corporate Campus Lot 2, 2621 Corporate Parkway
Petitioner: Mike Ritter, Petitioner
 - A. Open Public Meeting and Establish Quorum
 - B. Petitioner Comments
 - C. Staff and Commission Questions/Comments
 - D. Public Comment
 - E. Close Public Comment
 - F. Commission Motion On Petition
 - G. Close Public Meeting
5. New/Old Business
6. Adjournment

**VILLAGE OF ALGONQUIN
PLANNING AND ZONING COMMISSION
Meeting Minutes
September 9, 2019**

AGENDA ITEM 1: Roll Call to Establish a Quorum

Senior Planner Ben Mason called the meeting to order at 7:30 pm.

Mason called the roll, Commissioners present were: Hoferle, Laipert, Neuhalfen, Szpekowski, and Postelnick. Commissioners absent were Patrician and Sturznickel.

Staff Members present were: Ben Mason, Senior Planner and Brandy Quance, Village Attorney.

Noting that Chair Patrician was not present, Mason asked for a motion to appoint an Acting Chair. Commissioner Hoferle made a motion to appoint Commissioner Neuhalfen Acting Chair. Motion was seconded by Commissioner Szpekowski and passed by voice vote, with no nays.

AGENDA ITEM 2: Approval of Minutes from the July 8, 2019 Meeting.

Acting Chair Neuhalfen asked for a motion on the minutes of the July 8, 2019 meeting. Commissioner Hoferle made a motion, seconded by Laipert, to approve the minutes. Motion passed by voice vote, with no nays.

AGENDA ITEM 3: Public Comment

Acting Chair Neuhalfen called for any public comment, being none, Neuhalfen closed public comment.

AGENDA ITEM 4: Request for Final Plat, Final PUD and Special Use Permit

Case No. 2019-07 2075 East Algonquin Road

Petitioner: Steve Schwartz

OPEN PUBLIC HEARING AND ESTABLISH QUORUM

Acting Chair Neuhalfen opened the public hearing and asked to establish quorum. Commissioners present: Hoferle, Laipert, Neuhalfen, Szpekowski, and Postelnick. Commissioners absent: Patrician and Hoferle. A quorum was declared.

PETITIONER COMMENTS

Acting Chair Neuhalfen asked the petitioners to step up and be sworn in. Village Attorney Quance swore in the petitioners and verified proper legal notice. Petitioners were Joe Gottemoller, Attorney, Ryan Swanson, Engineer, Ed Reitan, Architect, Steve Schwartz, Developer, Hemal Purohit, Popeyes Architect, Ryan Triphahn, Car Wash Architect, Dan Gunsteen, Car Wash Operator. Steve Schwartz explained he owns the subject property and is proposing to subdivide into three lots, for a self storage facility, car wash, and Popeyes chicken restaurant. The site would have cross access to Thorntons to the east and a full access onto Route 62. Joe Gottemoller,

Attorney stated concern with Village requirements the existing parking lot be resurfaced, fencing requirement for the west lot line, restrictions on standing seam metal roof and he also noted Popeyes color scheme is per their company's corporate branding.

STAFF COMMENTS

Acting Chair Neuhalphen asked Senior Planner Mason for his staff report. Mason gave an overview of the request and noted that the redevelopment proposal includes cross-access and shared detention. The developer is seeking plat of subdivision approval to create the three lots, as well as Final PUD approval for the proposed use on each lot. Lot 1 would be the self storage facility, Lot 2 a car wash and Lot 3 Popeyes drive-through restaurant.

COMMISSION QUESTIONS/COMMENTS

Acting Chair Neuhalphen asked for any Commission questions or comments.

Hoferle stated he was disappointed the petitioner did not bring material samples for the car wash or restaurant buildings. He asked about the proposed wall signs on the buildings, to which Mr. Mason stated the development will be required to conform to the Village's Sign Code which permits a maximum of two wall signs for a free-standing building. He recommended increased landscaping being added along Route 62. He stated support for standing seam metal roof on the car wash but in a darker tone of red, to which Dan Gunsteen the proposed operator stated red is their corporate color for branding purposes and noted that the main exterior of the building would be brick.

Szpekowski asked about the new glass atrium that would be added to the front of the storage building, to which Steve Schwartz stated it is intended to serve as an attractive focal point for the front façade. She thought adding more masonry material to the Popeyes restaurant exterior, in the manner of the stone pilasters as recommended by Staff would help to enhance the look of their building.

Postelnick stated he supports the design of the Popeyes restaurant and could appreciate that the proposed orange EIFS exterior is their corporate branding. He asked how the three separate car wash lanes merge into one, to which Mr. Gunsteen stated there are control arms and sensors at the pay kiosks that manage the flow of vehicles in an organized manner. He asked how traffic is controlled on the busiest day of the year, to which Mr. Gunsteen stated he will have employees out in the drive-up lanes managing traffic. He asked what are the hours of operation, to which Mr. Gunsteen stated 7am to 9pm and all services including the outdoor vacuums are turned off when the business is closed.

Laipert asked if the car wash recycles water, to which Mr. Gunsteen stated no because reclaimed water has a poor odor however they will be installing an underground system for doing so if the state requires it in the future.

Neuhalphen asked where the dumpster enclosure for Popeyes would be located, to which Mr. Mason stated to the southeast corner of the site. He asked about the Village requirement the existing

parking lot be resurfaced, to which Mr. Mason stated the developer will be required to bring the existing pavement back to an acceptable standard as determined by the Public Works Department.

PUBLIC COMMENT

Acting Chair Neuhalfen opened the public hearing and asked for any public comments.

Phil Murphy, 1910 East Algonquin Road, stated that the self storage facility he owns nearby has many vacant storage units and he questioned the viability of another storage business. He stated the proposed storage building should be required to have four-sided architectural design quality, limitations on window signage and a sidewalk should also be considered in front of the property along Route 62.

Hoferle closed the public hearing and asked for a motion.

COMMISSION MOTION ON PETITION

Commissioner Hoferle made a motion to approve the request by Mr. Steve Schwartz at 2075 East Algonquin Road, for Final Plat of Subdivision, Final Planned Unit Development and Special Use Permit for a self-storage facility, automotive car wash, and drive-through restaurant with outdoor seating, consistent with the plans submitted by the petitioner, the findings of fact listed in the September 9, 2019 Community Development memorandum, the conditions recommended by staff and the additional recommendations that the developer increase the amount of landscaping along Rt. 62 / Algonquin as well as that the Village consider permitting a standing seam metal roof material on the car wash building if it were in a darker tone of red than proposed on the drawings. Seconded by Commissioner Laipert. Acting Chair Neuhalfen called for a voice vote on the Motion: AYE: Hoferle, Laipert, Neuhalfen, Szpekowski, and Postelnick. NAY: None. Absent: Patrician and Sturznickel. Motion passed, 5-0.

AGENDA ITEM 5: New/Old Business

None.

AGENDA ITEM 6: Adjournment

A motion to adjourn the meeting was made by Laipert, seconded by Postelnick, and a voice vote noted all ayes. The motion carried and the meeting was adjourned at 9:05p.m.

Respectfully Submitted,

Benjamin A. Mason, AICP
Senior Planner



VILLAGE OF ALGONQUIN
COMMUNITY DEVELOPMENT DEPARTMENT

– M E M O R A N D U M –

DATE: October 14, 2019

TO: Planning and Zoning Commission

FROM: Ben Mason, AICP, Senior Planner

SUBJECT: *Case No. 2019-15. 2621 Corporate Parkway — Final Planned Unit Development*

Introduction

Mr. Michael Ritter, representative of RSR Associates, LLC, has submitted a petition for Final Planned Unit Development, for construction of a 40,600 square foot industrial warehouse building. This building will be located within the Algonquin Corporate Campus – directly east of the petitioner's existing Advantage Moving and Storage facility – on a 2.88-acre vacant property on the south side of Corporate Parkway.

The subject property is Lot 2 in the Algonquin Corporate Campus and has an address of 2621 Corporate Parkway. The lot was recently purchased by the owners of Advantage Moving and Storage, who will be relocating approximately ten (10) employees from a warehouse in another community in which they are currently renting space.

Staff Comments

Comments from Christopher Burke Engineering, the Algonquin Police Department and Algonquin-Lake in the Hills Fire District are attached. The developer shall be required to modify the plans to address any additional comments or concerns identified by Public Works, who defer to the initial comments outlined in the CBBEL review memo at this time. Outlined below are some of the highlights of the proposal:

Site / Engineering – Access to the property will be off Corporate Parkway, and the developer is proposing the entrance at the northeast corner of the property to align with the proposed flow of trucks and vehicular traffic that will utilize the drive aisle on the far east side of the building. The developer shall provide turning radius exhibit demonstrating that there will not be a conflict with the existing median on Corporate Parkway for semi-tractor trailers that would make a westbound left-turn out onto Corporate Parkway.

A total of 50 parking spaces will be provided on the site, divided between standard passenger vehicle parking alongside the front of the building, and another row of parking stalls with greater depth on the south end of the property for semi-tractor trailer trucks. Considering the new

warehouse building will have approximately ten (10) employees, the passenger vehicle parking is sufficient at this time and the developer is proposing to reserve another 25 spaces at the north end of the property adjacent to Corporate Parkway should additional parking be needed in the future. This area for “future parking in reserve” is shown on the landscape plan to be initially landscaped with a mix of trees and shrubs.

Truck loading docks will be located at the rear of the building. The proposed parking for semi-tractor trailers at the south end of the property will adequately serve the needs of Advantage Moving and Storage and allow the business to relocate the semi-tractor trucks that have been parking in the nearby church lot on Boyer Road the past number of years.

Landscaping – Significant landscaping is proposed around the perimeter of the site, with the exception of the rear property line which will require the incorporate of attractive trees and shrubs similar to the rest of the property. Village Staff supports the relatively narrow 10’ landscape setbacks proposed for the east and south sides of the property, as the neighboring properties already offer or are planned for substantial landscape and open space areas adjacent to this property.

In light of the fact a significant portion of the front landscape setback along Corporate Parkway is proposed for conversion to additional parking if / when needed in the future, Village Staff recommends the installation of a dense row of arborvitae shrubs or similar landscape screening treatment in the 15-foot area that would not be disturbed directly adjacent to and south of the sidewalk.

Architecture / Building – The warehouse building will be constructed of precast concrete panels and the main field of the building will alternate between off-white and muted-blue color tones. To provide additional architectural interest, the same alternating color palette of off-white and blue precast panels proposed for the front façade shall be continued around the sides and rear of the building as well. All mechanical equipment and utility meters shall be screened from view or painted to match the building. The buildings’ window framing system shall be black or a dark bronze.

The warehouse building will serve Advantage Moving and Storage, but will be constructed with flexible floor plan space so that a portion could be sublet to another tenant in the future if needed. Additionally, the developer will be keeping the subject property’s existing status as a separate parcel from Advantage Moving and Storage’s lot, to retain the option in the future of selling the new warehouse building off to a separate company though there are no plans or desire to do so at the present time. Due to this possibility of Lot 2 having separate ownership in the future, Staff recommends the developer provide for cross-access in perpetuity – either in the form of an easement or covenant – between this parcel and the existing Advantage Moving & Storage property to the west.

Recommendation

Staff recommends approval of the Final Planned Unit Development, consistent with the plans submitted by the developer and the following conditions:

1. The site construction, utility installation and grading shall not commence until a Site Development Permit has been issued by the Village and all offsite and onsite utilities serving the subject property shall be underground, and water and sanitary sewer permits have been issued by the Illinois Environmental Protection Agency.
2. The Engineering Plans prepared by Morris Engineering, Inc. with the latest revision date of September 16, 2019 shall be revised to incorporate the comments noted below and in the October 9, 2019 memorandum from Christopher Burke Engineering, the September 27, 2019 memorandum from the Algonquin-Lake in the Hills Fire District, and subject to Public Works approval. The revised engineering plans shall show the location of a trash enclosure on the site.
3. The Landscape Plan as prepared by Sebert Landscaping Co. with the latest revision date of September 18, 2019, shall be revised to incorporate the comments noted below and in the October 9, 2019 memorandum from Christopher Burke Engineering, the September 27, 2019 memorandum from the Algonquin-Lake in the Hills Fire District, and subject to Public Works approval. The proposed tree species shall be revised to provide a total of four (4) deciduous shade tree species in equal quantities to meet the Village's diversity requirements. It is recommended the proposed Red Maple and Linden trees – which do not typically fare well in the local area – be replaced with alternative species from the Village's approved tree list. An attractive mix of trees and shrubs shall be incorporated within the rear landscape setback area. A dense row of arborvitae shrubs or similar landscape screening treatment shall be added within the 15-foot landscape setback along Corporate Parkway that would remain should the portion designated for future parking held in reserve ever be constructed.
4. The Photometric Plan, as prepared by PG Enlighten, with the latest revision date of September 17, 2019 shall be revised to shall be revised to incorporate the comments noted below and in the October 9, 2019 memorandum from Christopher Burke Engineering, the September 27, 2019 memorandum from the Algonquin-Lake in the Hills Fire District, and subject to Public Works approval. The parking lot light fixtures shall meet Village standards with 25 foot poles, metal halide or LED lights, lens flush with the housing, downcast lighting, all flat black in color. The building mounted lights shall be downcast, lens flush with housing and metal halide or LED, and black in color. No trespass light shall encroach onto the adjacent parcels to the east and south. The developer shall submit spec sheets of the proposed light fixtures for review by the Village Engineer. The Village Board shall have the right to review light levels and require a change if deemed inappropriate light levels.
5. The building shall be constructed to be consistent with the architectural elevations as prepared by DDCA Architects, with the latest revision date of October 9, 2019. To provide additional architectural interest, the same alternating color palette of off-white and blue precast panels proposed for the front façade shall be continued around the sides and rear of the building as well. In addition, all mechanical equipment and utility meters shall be screened from view or painted to match the building. The buildings' window framing system shall be black or a dark bronze. Should the current or future owner of the building

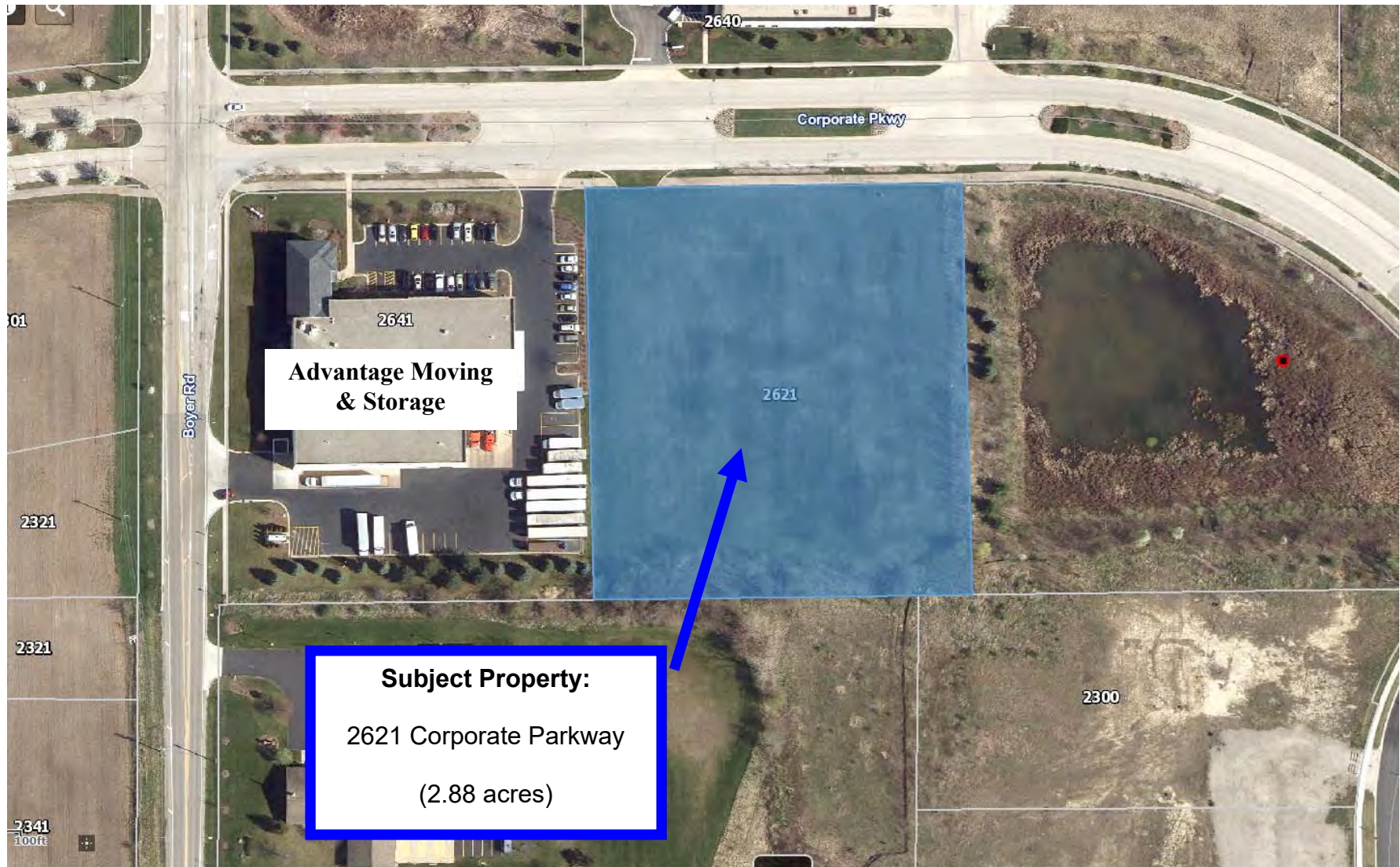
ever propose re-painting the exterior façade, the color palette shall be subject to approval by the Village.

6. A monument sign is permitted for this lot and shall be constructed out of materials to match the building and follow the Village's Sign Code requirements with regards to location and size. A single name and address identifying the overall property may be featured on the sign. A rendering of the monument sign shall be reviewed and approved by Community Development Department staff prior to construction.
7. The developer shall provide for cross-access in perpetuity – either in the form of an easement or covenant – between this parcel and the existing Advantage Moving & Storage property to the west.
8. All roof-mounted or ground located mechanical equipment shall be screened with an appropriate architectural element or landscaping.
9. The Private Property Enforcement Agreement shall be executed with the Algonquin Police Department prior to the issuance of any Certificate of Occupancies.
10. No materials or products may be stored outside the building at any time.

Attachments:

Property in Question Map
Staff Review Memos
Developer Submittal Package

Property in Question Map





CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 West Higgins Road Suite 600 Rosemont, Illinois 60018 TEL (847) 823-0500 FAX (847) 823-0520

October 9, 2019

Village of Algonquin
2200 Harnish Drive
Algonquin, IL 60102

Attention: Ben Mason, Senior Planner

Subject: 2621 Corporate Parkway – FIRST REVIEW
Algonquin Case No. 2019-15
(CBBEL Project No. 07-0272.00118)

Dear Ben:

We have reviewed the following documents related to this project:

- Engineering Plans prepared by Morris Engineering, Inc. bearing a revision date of September 16, 2019
- Stormwater Management Calculations for Southwest Randall Development prepared by Morris Engineering, Inc. bearing a revision date of March 10, 2003
- Photometric Plan prepared by PG Enlighten bearing a revision date of September 17, 2019
- Landscape Plan prepared by Sebèrt Design/Build bearing a revision date of September 18, 2019
- Colored Architectural Elevations and Floor Plans prepared by DDCA Architects bearing a revision date of September 18, 2019
- Stormwater Calculations prepared by Morris Engineering, Inc. undated
- Kane County Stormwater Management Permit Application, undated
- Algonquin Plan Distribution Memo dated September 19, 2019

It is our understanding that this project will be considered by the Planning and Zoning Commission on October 14, 2019. We offer the following comments for their deliberation:

ENGINEERING PLANS

The submitted “engineering” plan is really a rudimentary site plan with very little site engineering information provided. We have identified the following that should be included in the next engineering submittal.

1. The engineering plans shall include an Existing Conditions and Demolition sheet showing the existing topography any items that will be demolished/removed to construct the proposed improvements (not an inclusive list):
 - Curb removal and/or replacement
 - Pavement removal and/or replacement
 - Utility structures and pipelines
2. The engineering plans shall include a Geometric sheet providing information on the following (not an inclusive list):
 - Dimensions to property lines for proposed building and site parking areas
 - Parking stall and parking lot aisle widths
 - Legend for pavement types to be used on project
 - Curb radii, as applicable
 - Locations of pole mounted lighting
3. The engineering plans shall include a Utilities sheet depicting all underground infrastructure associated with the project (not an inclusive list):
 - Site storm sewers
 - Sanitary sewer lateral if building will have employee bathrooms
 - Potable water service if building will have employee bathrooms and/or fire protection system
 - Location of Fire Department Connection if a fire protection system will be installed.
 - Natural Gas, Telephone, and Electrical service lines
4. The engineering plans shall include a Grading sheet depicting the proposed vertical topographic features of the project (not an inclusive list):
 - Proposed pavement and curb elevations
 - Proposes spot grades and contours for turf areas
 - Site overflow route
 - Rim elevations of underground structures, especially storm sewer
 - Natural Gas, Telephone, and Electrical service lines
5. The engineering plans shall include a Soil Erosion and Sedimentation Control sheet depicting the use of all applicable SESC measures (not inclusive list):
 - Silt fence
 - Stabilized construction Entrance
 - Inlet filter baskets
 - Concrete washout area

- Temporary soil stockpiles
6. The engineering plans shall include all applicable specifications and standard details for the pavement, utility, and SESC components applicable to this project.
 7. The existing trees in the south parkway of Corporate Parkway are missing from the plan sheet.
 8. If there will be employees moving back and forth between the two buildings, then we recommend that a dedicated pedestrian walkway be designed into the improvements. One location that could be used is the pavement narrowing where there is an existing parking island along the east side of the parking area of the existing building.
 9. There is an existing fire hydrant along the south side of Corporate Parkway near the eastern boundary of the development site that is not noted on the plan sheet and could be impacted by the construction of the proposed driveway.

PHOTOMETRIC PLAN

10. The proposed Site Plan does not indicate the proposed lighting. Please identify the standalone lighting unit locations on the Site Plan and Utility Plan when it is Resubmitted.
11. The site geometry depicted on the Photometric Plan does not match the geometry as shown on the proposed Site Plan. Please revise the Site Plan and Photometric Plan accordingly.
12. The Landscape Plan shows trees that are conflicted with the standalone lighting units. Please revise Photometric and Site Plans accordingly.
13. On the Photometric Plan, there are no calculation points shown in the adjacent parking lot to the West of the building. Please provide a Calculation Grid that is all encompassing of all parking areas and drive aisles.

LANDSCAPE PLAN

14. The locations of all proposed pole-mounted lighting and underground utilities shall be added to the plan sheet to verify no conflicts exist with the proposed trees.
15. We note that the landscaping of the boulevard medians to the west and east of the site is more elaborate and lush than the median in front of the development

site. We will defer to the opinion of the Public Works staff, but this appears to be an opportunity to add more trees and shrubs to the median if so desired.

16. The existing trees in the south parkway of Corporate Parkway are missing from the plan sheet. We note that new trees are called out for the parkway. The plans should identify if the existing trees are to be removed or relocated.

STORMWATER MANAGEMENT

17. The Applicant should provide runoff curve number calculations for Lot #2 improvements. The previous stormwater report and detention basins were sized assuming a runoff curve number of 92 with a hydrologic soil group B. If the proposed runoff curve number is greater than 92, then additional stormwater detention volume may be required to offset the increase in proposed impervious area not considered in the previously approved stormwater report.
18. The Stormwater Calculations for the development in 2003 indicates that the required retention volume has been provided for the site, provided the curve number above is at or below the value of 92. Similarly, if the proposed runoff curve number is greater than 92, then additional stormwater retention volume will be required.
19. There is a depressed area at the southwest corner of the site that is served by an existing storm structure. There is no elevation information provided for the structure and the surrounding contours are not numbered. This off-site flow will need to be accommodated with the engineering for the project.
20. Additional aspects of the development will be reviewed once a final engineering submittal has been provided (i.e. – storm sewer, overland flow, inlet capacity, stormwater quality, etc.).

Sincerely,



Paul R. Bourke, PE CFM CPMSM
Assistant Head, Municipal Department



Michael E. Kerr, PE
Executive Vice President

Algonquin-Lake in the Hills Fire Protection District

Fire District Memorandum



DATE: September 27, 2019
TO: Ben Mason, Senior Planner Village of Algonquin
FROM: Cory Pikora, Fire Prevention Director Algonquin- LITH FPD
RE: 2019-15 Final PUD 2621 Corporate Parkway

Thank you for providing the preliminary drawings for the purposed building at 2621 Corporate Parkway

Overall Site:

- Indicate the fire hydrants locations on the drawing. **IFC 508.1**
- Fire hydrants shall be no further than 300 feet apart, all hydrants shall not be on a dead end and shall be looped. **F 903.6 Yard Hydrants.**
- Indicate the water main size provided for the fire sprinkler system.
- Provide an emergency vehicle access plan using the turning radius schematic provided for our tower ladder truck. This access plan should include all driveways / roadways of the property. **IFC 503.2.4 Turning Radius**
- Fire Department hose access shall be no more than 150 feet from the fire apparatus to all sides of the buildings from each of the fire department access road. **IFC 503.1.1**

Buildings and Facilities

- Provide the location on the fire department connection on the drawing. **F903.3.7 Fire Department Connections**
- A fire hydrant shall be provided within 100 feet of the fire department connection. **F903.3.7 Fire Department Connections**
- The building will require a NFPA 72 compliant fire alarm system and a NFPA 13 complaint fire sprinkler system.
- Provide an egress plan.
- Should high piled storage be utilized within the building, the fire sprinkler system shall be designed for high piled storage. **F 905.3.8 High-Piled Combustible Storage**
- Should high piled combustible storage be utilized within the building, a NFPA 13 compliant Class I automatic wet standpipe system shall be installed in areas where combustible storage exceeds 12 feet in height. The hose connections shall be located at each door to the high piled combustible storage area. Where hose connection exceed 200', additional the Building Code Official is authorized to require additional hose connections. The standpipes shall be installed with its own riser piping system. **F 905.3.8 High-Piled Combustible Storage**
- Should high piled storage be utilized within the building, a racking diagram shall include the following: The commodity being stored, the size and height of the racks, the width of the aisle between racks and the location of all racks. **F 905.3.8 High-Piled Combustible Storage**

- All fire department access roads shall be a minimum of 20 feet of unobstructed width and 13'6" of unobstructed height. **IFC 503.2.1 Dimensions**
- Confirm the canvas awnings do not protrude into the fire department access roads.
- Mark the East, West, and South curb lines adjacent to the building as "No Parking Fire Lane" with either fire lane signage or paint and mark the curb line "No Parking Fire Lane" It is unclear if the West side of the building will have parking located in this area. The fire lane can be removed from the West side of the building should this area include parking. **IFC 503.3 Marking**
- Clear 75 cd Strobes are required above the main entrances of all buildings to activate on all fire alarms. **F907.10.1.1 Public and Common Areas**
- A blue lens 75 cd horn strobe is required to activate for a water flow alarms only and is required above the fire department connection. **F907.10.1.1 Public and Common Areas**
- A 10 psi safety factor is required for all fire sprinkler systems hydraulic calculations. **F903.5 Water Supplies**
- RPDA backflow preventer with meter bypass measured in gallons is required.
- The fire department connections shall be a 4 inch Storz connection, with a 30 degree downturn. For building requiring a sprinkler demand of 1000 gpm or greater two 4 inch Storz connections will be required. **F903.3.6.1 Algonquin Lake in the Hills Fire Protection District**
- Ball drips and main drains shall be piped to the exterior whenever possible.
- An adjustable low temp device is required in all sprinkler rooms to report as a supervisory alarm.
- All new fire alarm systems shall transmit via radio to a UL listed central station. **F903.4 Sprinkle System Monitoring and Alarms**
- Exterior and interior sprinkler bells shall be replaced with exterior and interior rated audio visual devices.
- A Knox Box for fire department key access will be required at the entrance and fire sprinkler room. **IFC 506.1 Key Boxes where required**

Note: Any Code Section beginning with and F indicated the Algonquin Lake in the Hills Fire Protection District Local Ordinance.

Should you have any questions on my comments, please feel free to contact me.

Cory Pikora
Fire Prevention Director
Algonquin-Lake in the Hills Fire Protection District



Village Of Algonquin Police Department

~MEMORANDUM~



DATE October 6, 2019

TO Ben Mason, Senior Planner

FROM Sergeant Robert Salazar

SUBJECT Case No. 2019-15 Advantage Moving and Storage

I have reviewed the plans for Advantage Moving and Storage and find no issues with relation to the police department.

[Email](#)

[Print Form](#)



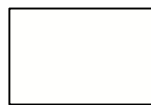
(SOME TREES NOT SHOWN FOR CLARITY)

VIEW FROM CORPORATE PARKWAY



VIEW FROM REAR LOT

EXTERIOR COLOR LEGEND (COLORS AND COLOR PATTERN SUBJECT TO CHANGE)



PRIMARY FIELD COLOR 1:
ICE CUBE (SW 6252)



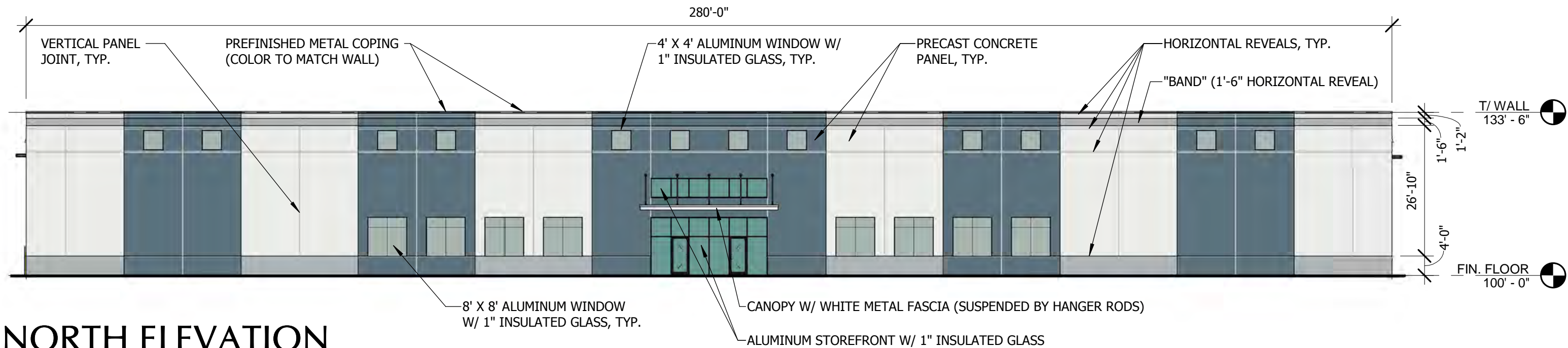
BAND & BASE COLOR 2:
MORNING FOG (SW 6255)



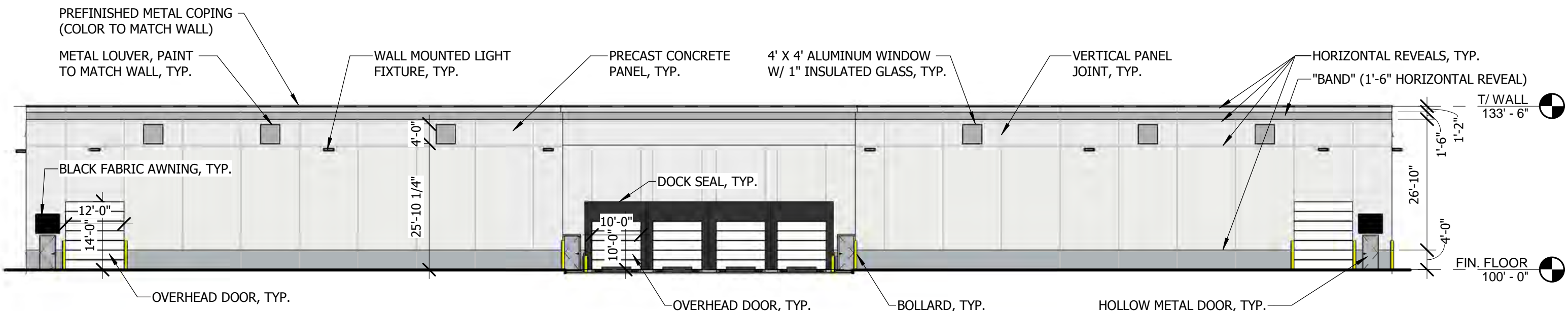
SECONDARY FIELD COLOR 3:
SMOKY BLUE (SW 7604)



METAL COLOR 4:
DARK BRONZE



NORTH ELEVATION



SOUTH ELEVATION

EXTERIOR COLOR LEGEND (COLORS AND COLOR PATTERN SUBJECT TO CHANGE)



PRIMARY FIELD COLOR 1:
ICE CUBE (SW 6252)



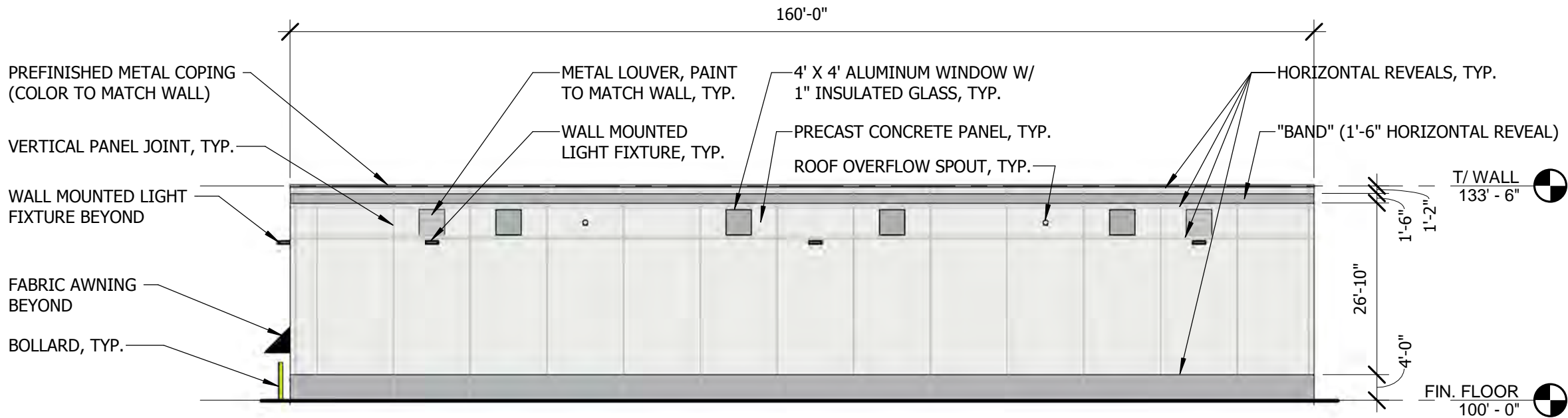
BAND & BASE COLOR 2:
MORNING FOG (SW 6255)



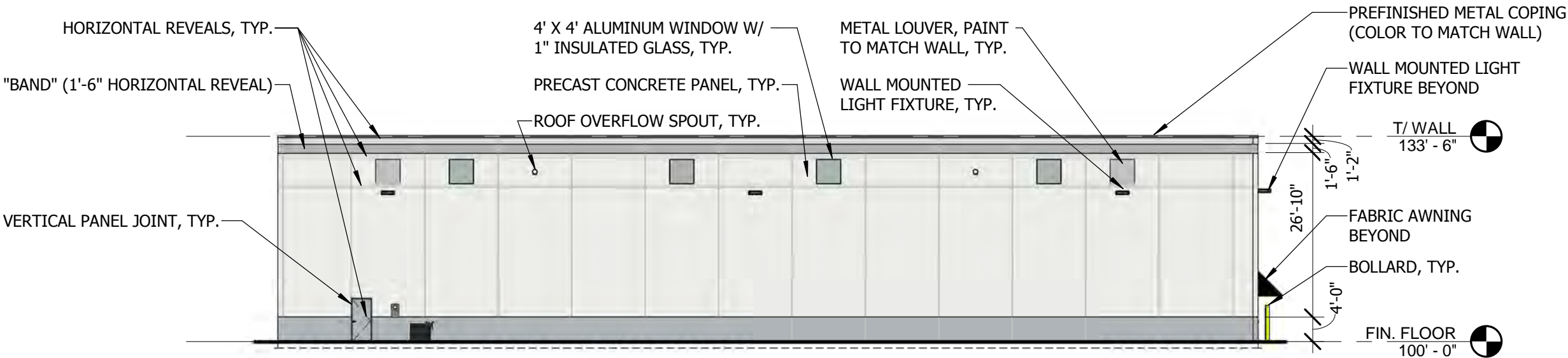
SECONDARY FIELD COLOR 3:
SMOKY BLUE (SW 7604)



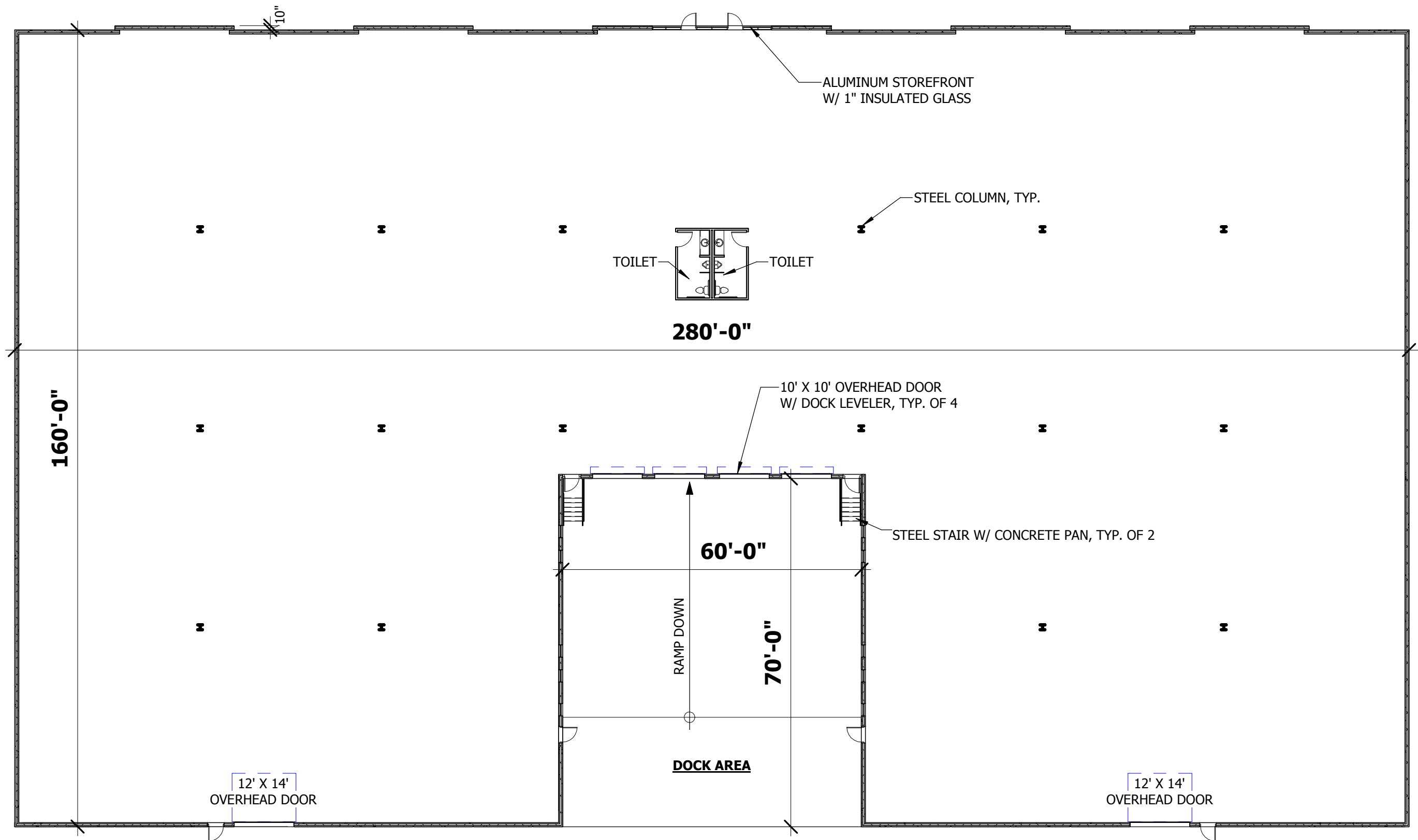
METAL COLOR 4:
DARK BRONZE



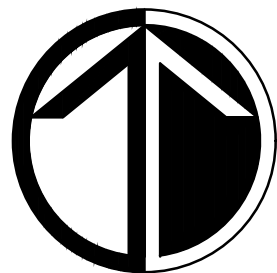
EAST ELEVATION



WEST ELEVATION

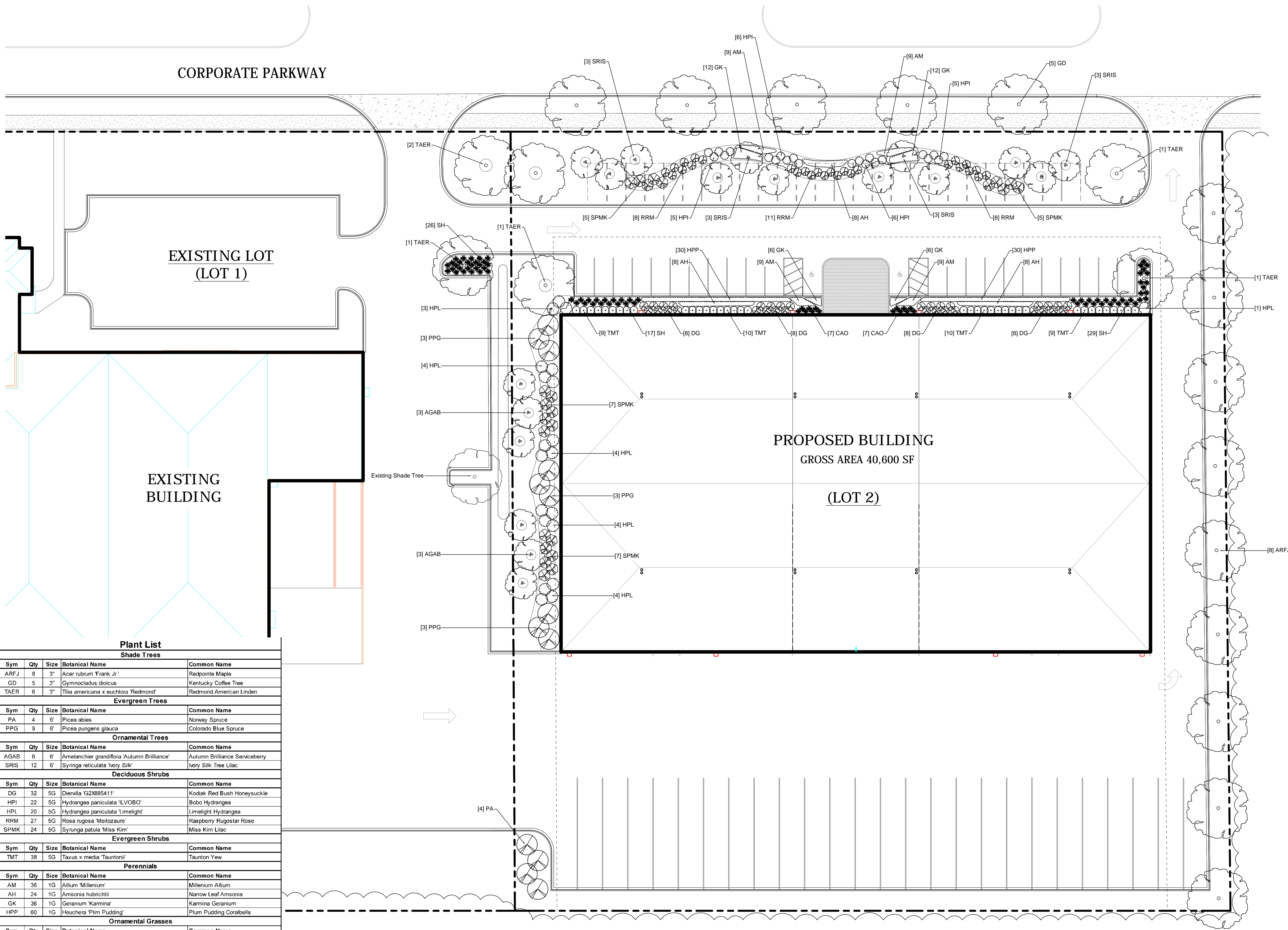


FLOOR PLAN



Algonquin Corporate Campus Lot #2
Algonquin, IL
Landscape Plan

Revisions	
Page:	L1
Date:	9-18-2019
Scale:	1" = 20'
Design By:	J. Czaja



Plant List				
Shade Trees				
Sym	Qty	Size	Botanical Name	Common Name
ARFJ	8	3"	Acer rubrum 'Frank Jr.'	Redpointe Maple
GD	5	3"	Gymnocladus dioicus	Kentucky Coffee Tree
TAER	6	3"	Tilia americana x euchlora 'Redmond'	Redmond American Linden
Evergreen Trees				
Sym	Qty	Size	Botanical Name	Common Name
PA	4	6'	Picea abies	Norway Spruce
PPG	9	6'	Picea pungens glauca	Colorado Blue Spruce
Ornamental Trees				
Sym	Qty	Size	Botanical Name	Common Name
AGAB	6	6'	Amelanchier grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry
SRIS	12	6'	Syringa reticulata 'Ivory Silk'	Ivory Silk Tree Lilac
Deciduous Shrubs				
Sym	Qty	Size	Botanical Name	Common Name
DG	32	5G	Diervilla 'G2X885411'	Kodiak Red Bush Honeysuckle
HPI	22	5G	Hydrangea paniculata 'LVOBO'	Bobo Hydrangea
HPL	20	5G	Hydrangea paniculata 'Limelight'	Limelight Hydrangea
RRM	27	5G	Rosa rugosa 'Meitozaure'	Raspberry Rugostar Rose
SPMK	24	5G	Syrunga patula 'Miss Kim'	Miss Kim Lilac
Evergreen Shrubs				
Sym	Qty	Size	Botanical Name	Common Name
TMT	38	5G	Taxus x media 'Tauntonii'	Taunton Yew
Perennials				
Sym	Qty	Size	Botanical Name	Common Name
AM	36	1G	Allium 'Millenium'	Millenium Allium
AH	24	1G	Amsonia hubrichtii	Narrow Leaf Amsonia
GK	36	1G	Geranium 'Karmina'	Karmina Geranium
HPP	60	1G	Heuchera 'Plum Pudding'	Plum Pudding Coralbells
Ornamental Grasses				
Sym	Qty	Size	Botanical Name	Common Name
CAO	14	1G	Calamagrostis x acutiflora 'Overdam'	Overdam Reed Grass
SH	72	1G	Sporobolus heterolepsis	Prairie Dropseed

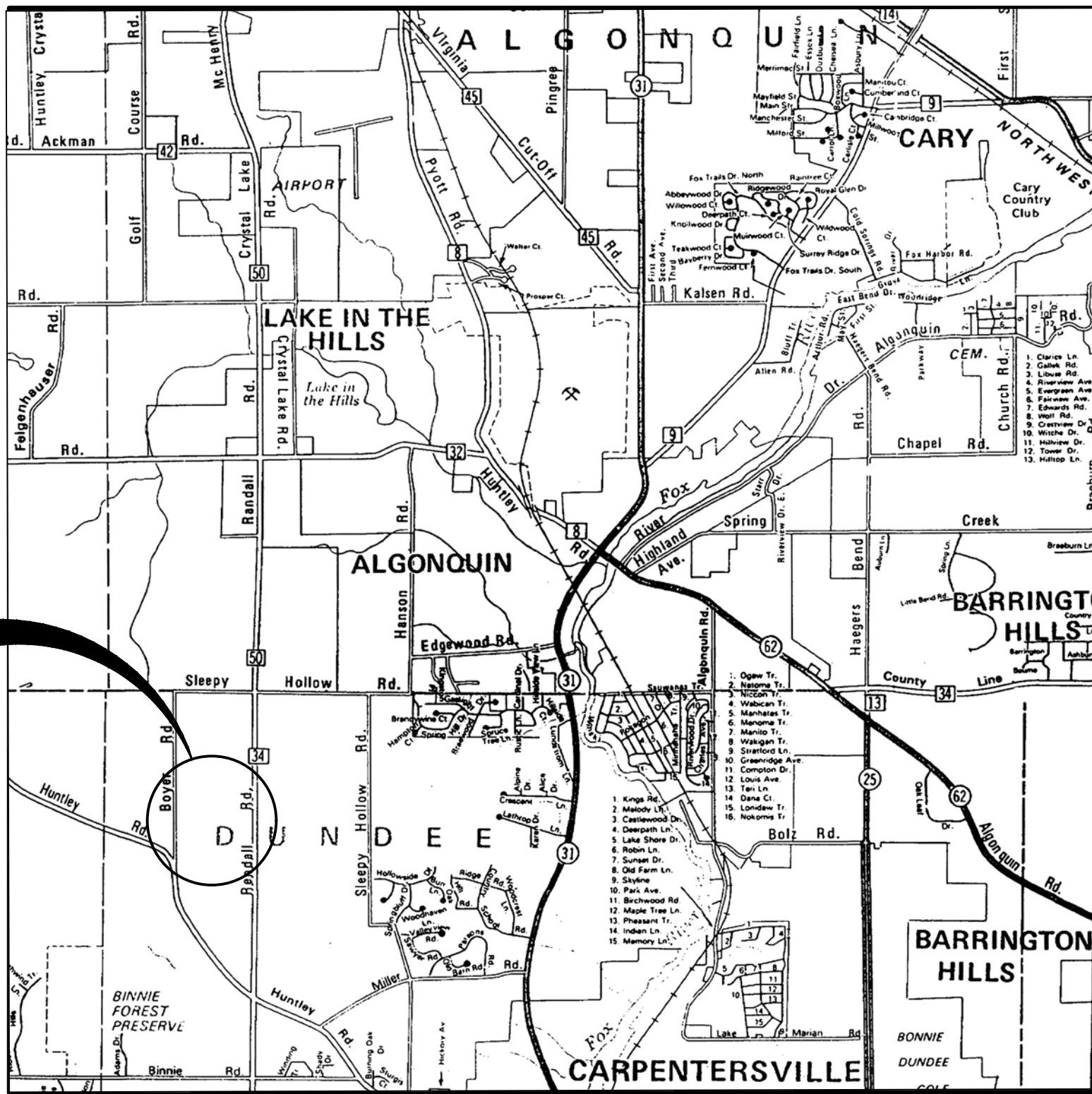
ALGONQUIN CORPORATE CAMPUS LOT #2

ALGONQUIN, ILLINOIS

LEGEND

EXISTING	PROPOSED	
		MANHOLE
		CATCH BASIN
		INLET
		CLEANOUT
		FLARED END SECTION
		WATER VALVE BOX
		BUFFALO BOX (B.BOX)
		WATER VALVE & VAULT
		FIRE HYDRANT
		WELL
		GAS VALVE
		GAS METER
		COMMUNICATION CANISTER
		COMMUNICATION HANDHOLE
		COMMUNICATION MANHOLE
		ELECTRIC CANISTER
		ELECTRIC HANDHOLE
		ELECTRIC MANHOLE
		ELECTRIC METER
		TRAFFIC SIGNAL
		TRAFFIC HANDHOLE
		TRAFFIC CONTROL BOX
		UTILITY POLE
		UTILITY POLE W/ LIGHT
		STREET LIGHT
		STREET SIGN
		BORING LOCATION
		MAILBOX
		SPOT ELEVATIONS
		PROPERTY LINE
		ADJACENT PROPERTY LINE
		EASEMENT LINE
		SETBACK LINE
		RIGHT OF WAY LINE
		STORM SEWER LINE
		SANITARY SEWER LINE
		WATERMAIN LINE
		UNDERGROUND GAS LINE
		UNDERGROUND COMM. LINE
		UNDERGROUND ELECTRIC
		OVERHEAD UTILITY
		FENCE LINE
		GUARDRAIL LINE
		CONTOUR LINE

PROJECT LOCATION



PROJECT LOCATION MAP

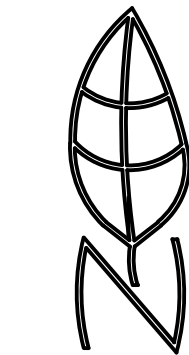
PREPARED FOR
DDCA ARCHITECTS
3321 S. ROUTE 31
CRYSTAL LAKE, ILLINOIS 60012

NOTICE TO CONTRACTORS

EXISTING UTILITIES

WHEN THE PLANS OR SPECIAL PROVISIONS INCLUDE INFORMATION PERTAINING TO THE LOCATION OF OVERHEAD AND/OR UNDERGROUND UTILITY FACILITIES, SUCH INFORMATION REPRESENTS ONLY THE OPINION OF THE ENGINEER AS TO THE LOCATION OF SUCH UTILITIES AND IS ONLY INCLUDED FOR THE CONVENIENCE OF THE BIDDER. THE ENGINEER AND THE OWNER ASSUME NO RESPONSIBILITY WHATSOEVER IN RESPECT TO THE SUFFICIENCY OR VERACITY OF THE INFORMATION SHOWN ON THE PLANS RELATIVE TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES OR THE MANNER IN WHICH THEY ARE TO BE REMOVED OR ADJUSTED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ALL SUCH FACILITIES. HE SHALL ALSO OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES DETAILED INFORMATION RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULES OF THE UTILITY COMPANIES FOR REMOVING OR ADJUSTING THEM.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL PUBLIC AND PRIVATE UTILITY COMPANIES WHICH MAY HAVE OVERHEAD OR UNDERGROUND FACILITIES IN THE AREA BEFORE CONSTRUCTION BEGINS. (SEE SPECIFICATIONS)



INDEX OF SHEETS

1. COVER SHEET
2. SITE PLAN
3. DETAILS

COVER SHEET
ALGONQUIN CORPORATE CAMPUS LOT #2
ALGONQUIN, ILLINOIS

Morris Engineering, Inc.
Civil Engineering • Consulting
Land Surveying
515 Warrenville Road, Lisle, IL 60532
Phone: (630) 271-0770
Survey: (630) 271-0599
FAX: (630) 271-0774
Website: www.ecivil.com



FIELD CREW:	-
DRAWN BY:	CJS
CHECKED BY:	EF
APPROVED BY:	SD
DATE:	9-16-2019
SCALE:	HORIZ scale
	VERT scale
SHEET	1
OF 3 SHEETS	
PROJ # 19-08-2001	

SITE BENCHMARK #1
RAILROAD SPIKE IN UTILITY POLE LOCATED WEST OF RANDALL ROAD APPROXIMATELY 1852 FEET SOUTH OF THE INTERSECTION OF COUNTY LINE ROAD AND RANDALL ROAD.
ELEVATION = 921.18



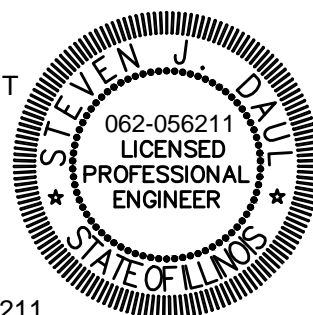
ENGINEER'S CERTIFICATION

STATE OF ILLINOIS)
SS.
COUNTY OF DuPAGE)

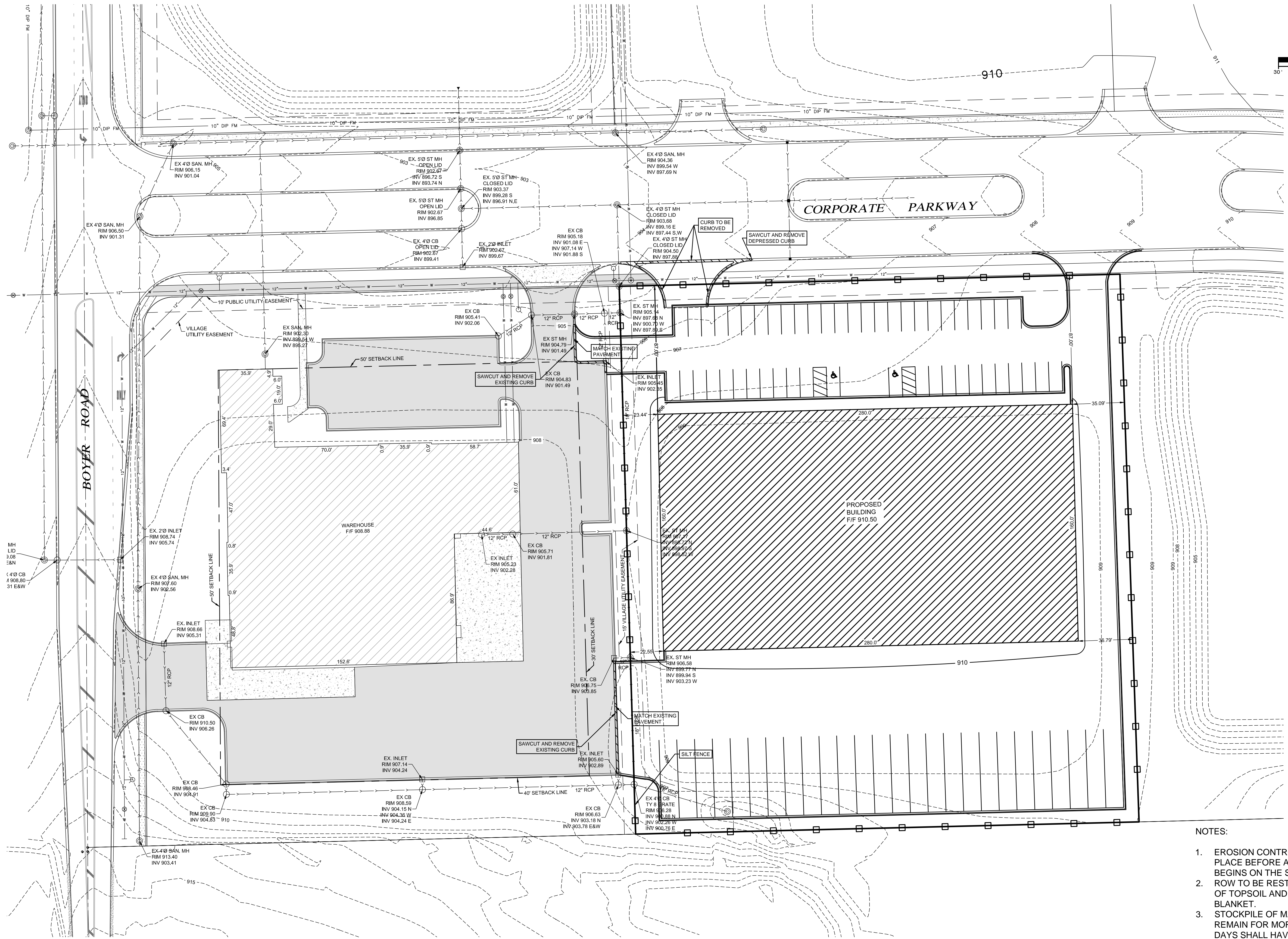
I, STEVEN J. DAUL, A REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY MORRIS ENGINEERING, INC. 515 WARRENVILLE ROAD, LISLE, ILLINOIS, 60532 UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS. I FURTHER STATE THAT THE PROPOSED IMPROVEMENTS WILL NOT CAUSE PONDING OR FLOODING ON THE PROPERTY OR ADJACENT PROPERTIES.

DATED THIS XXTH DAY OF XX, A.D. 2019

ILLINOIS REGISTERED PROFESSIONAL ENGINEER NO. 062-056211
MY REGISTRATION EXPIRES ON NOVEMBER 30, 2019



9/13/2019 4:59:10 PM
I:\2019\19-08-2001 - Corporate Blvd., Algonquin\Engineering\REV-01-19-08-2001-SITE.dwg



NOTES:

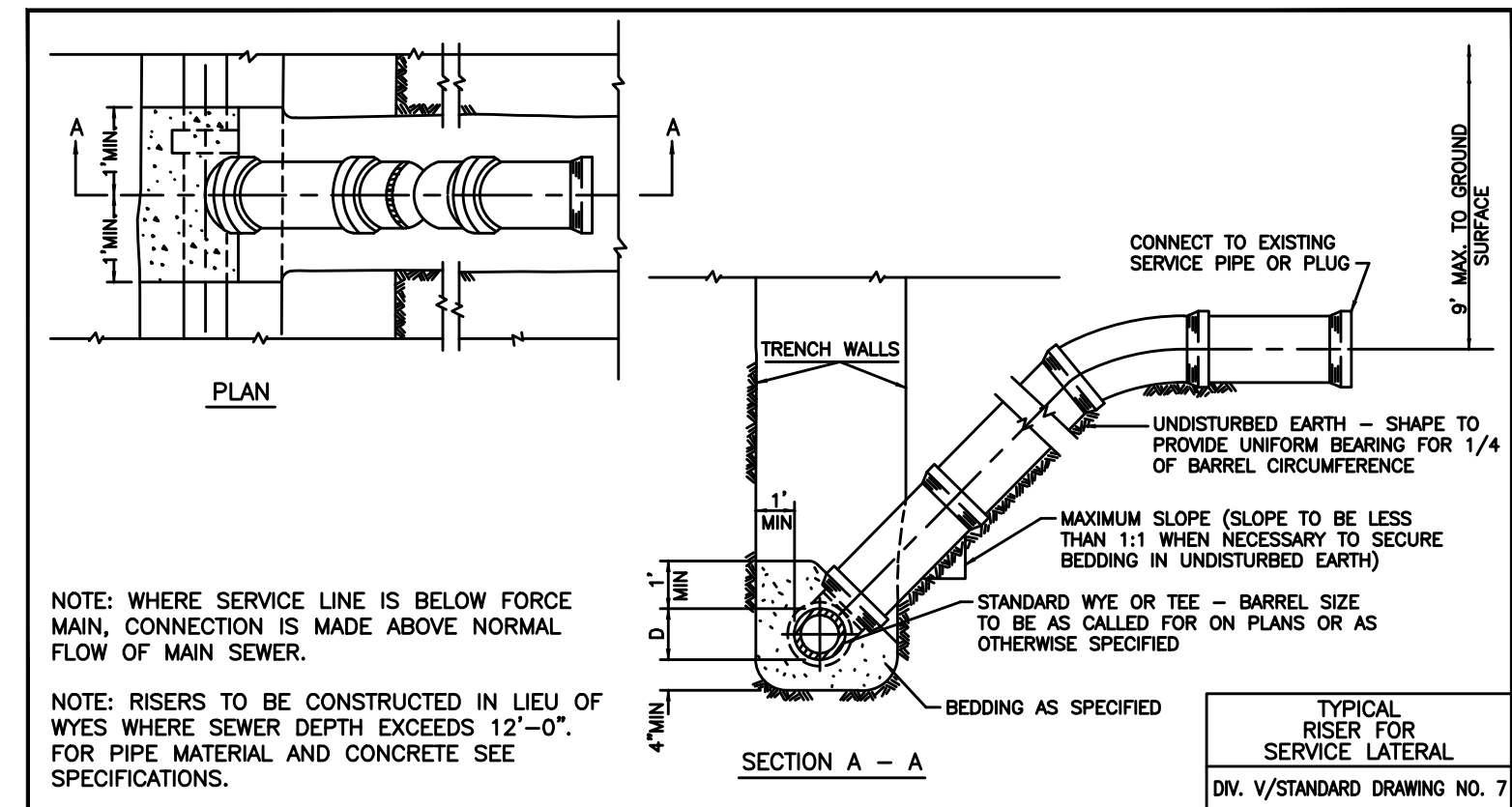
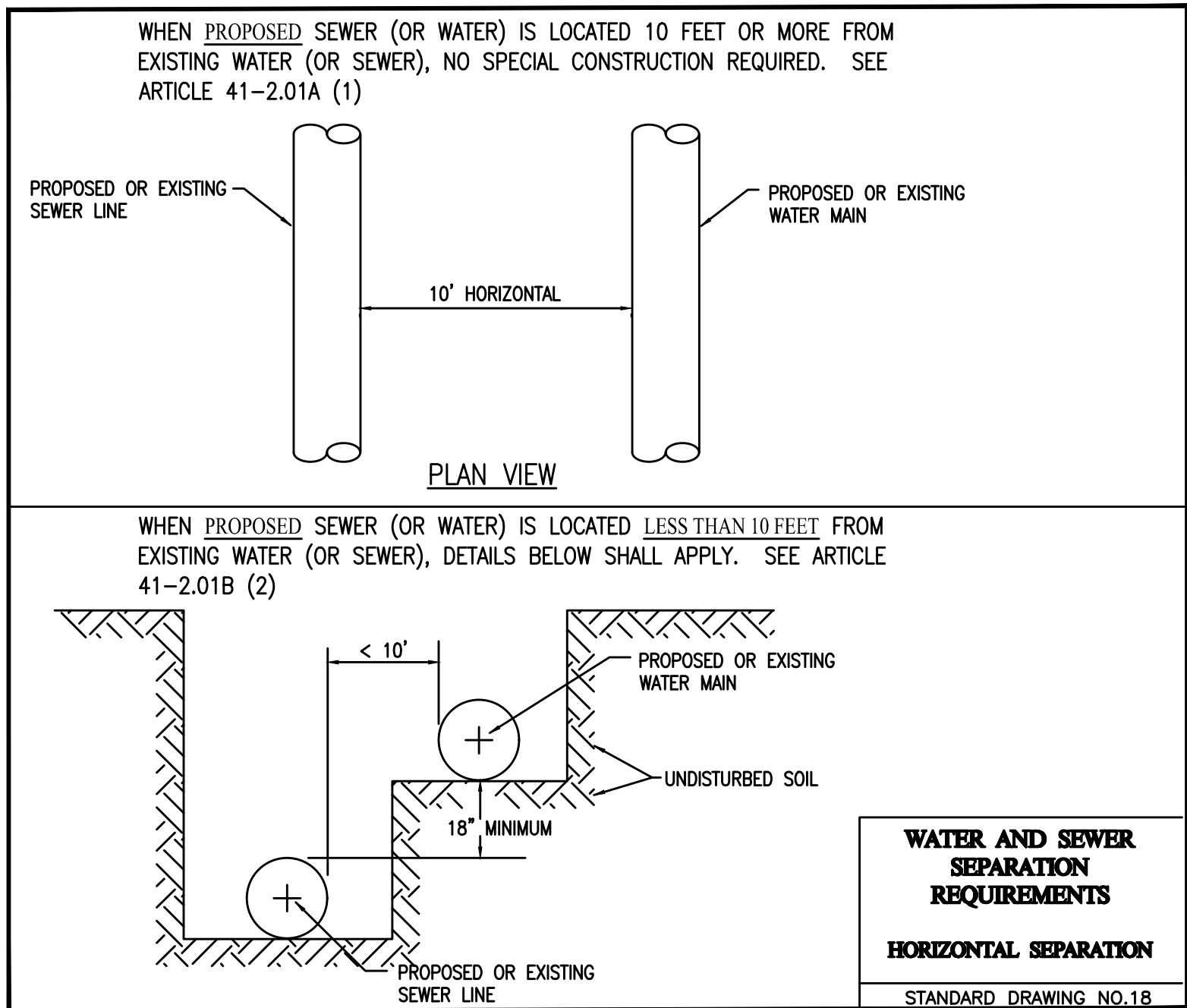
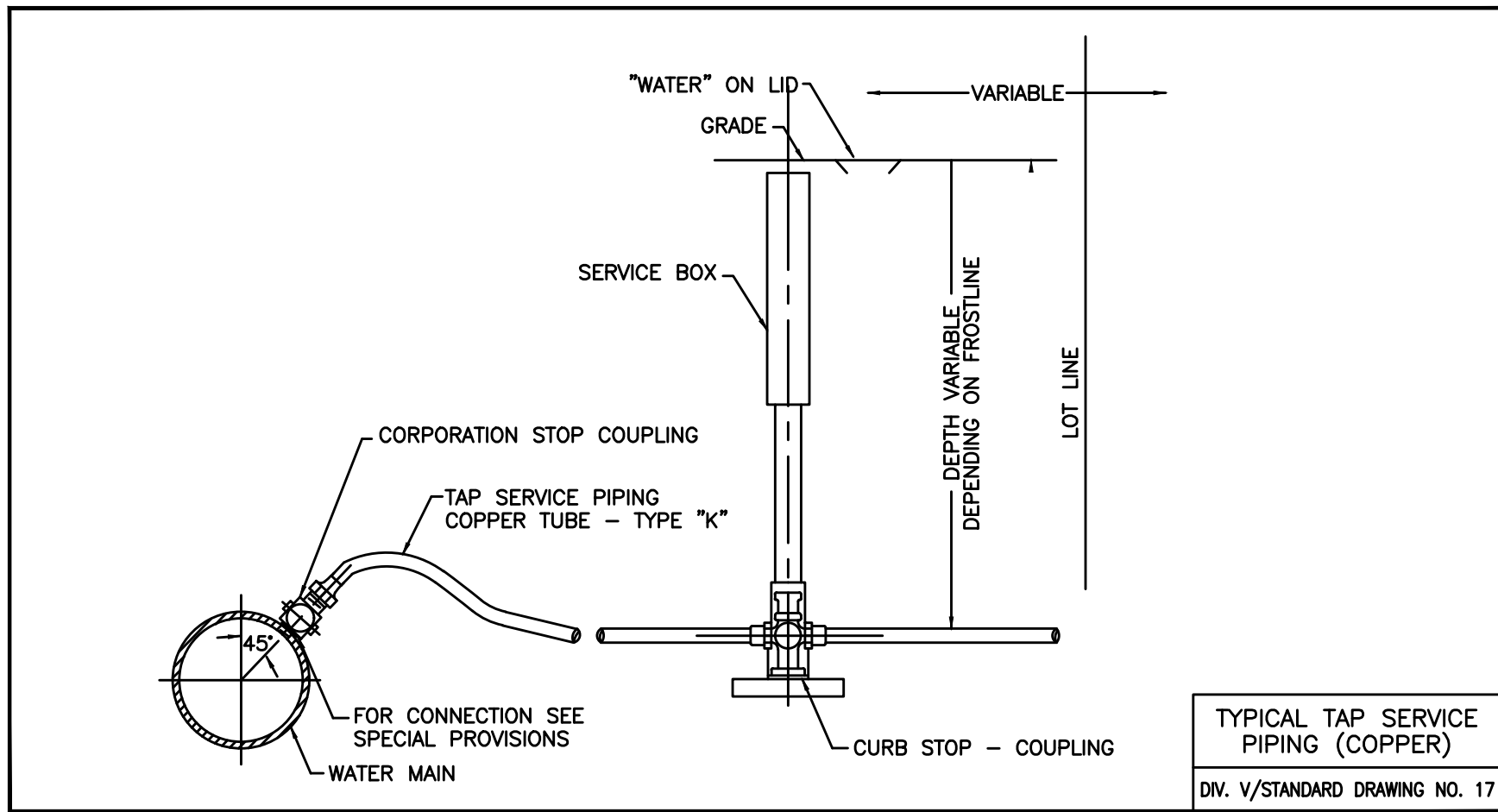
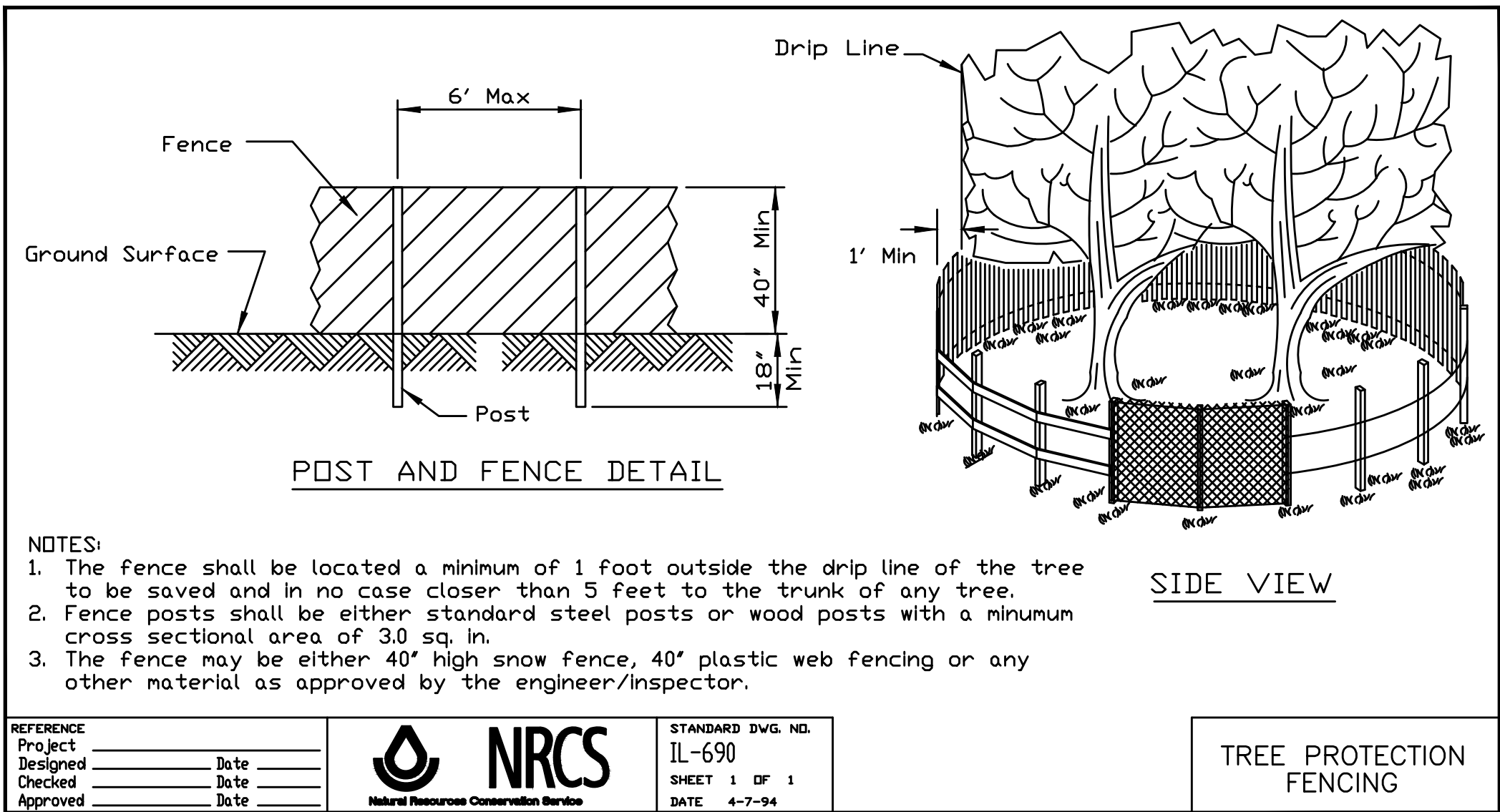
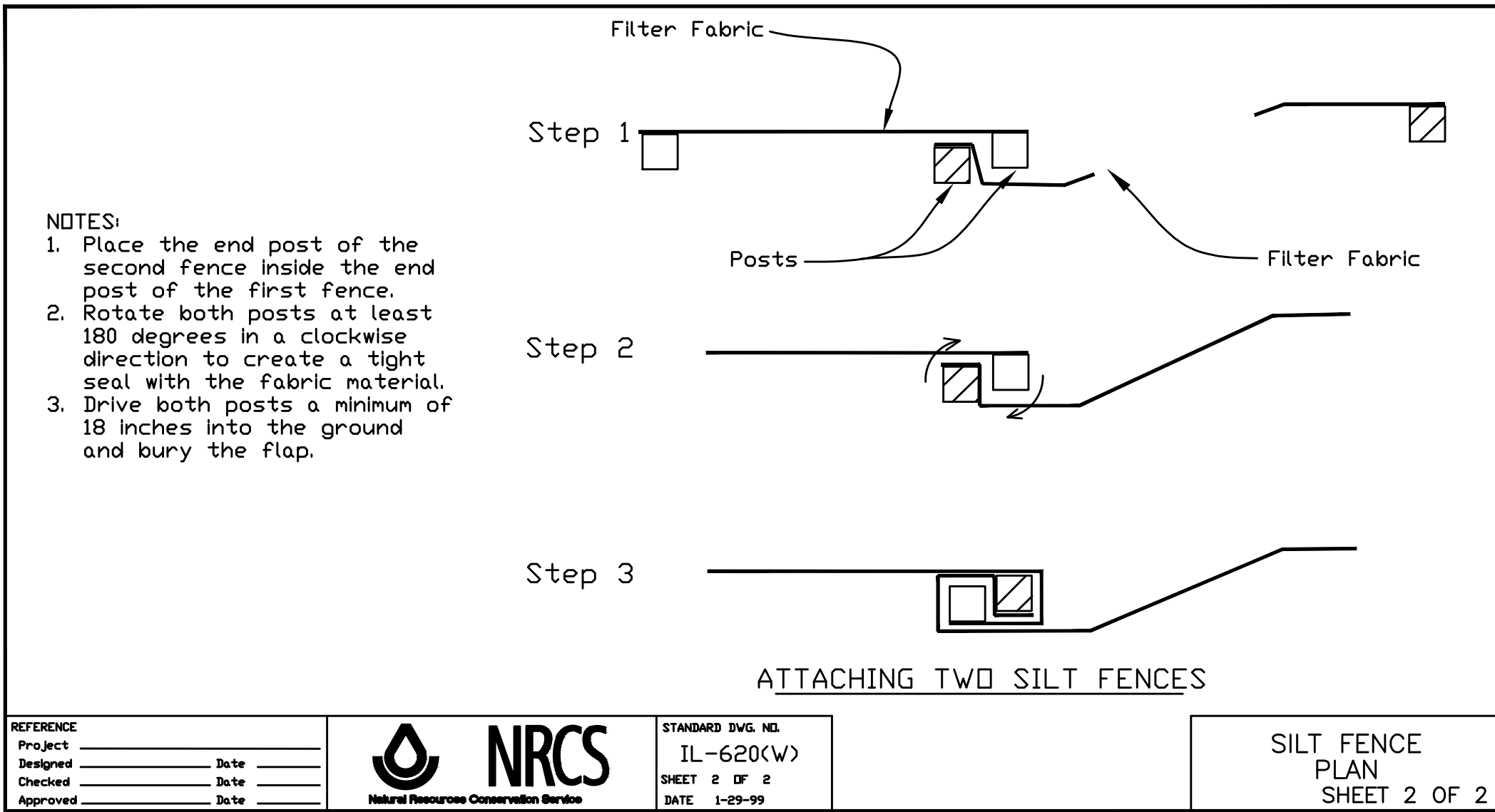
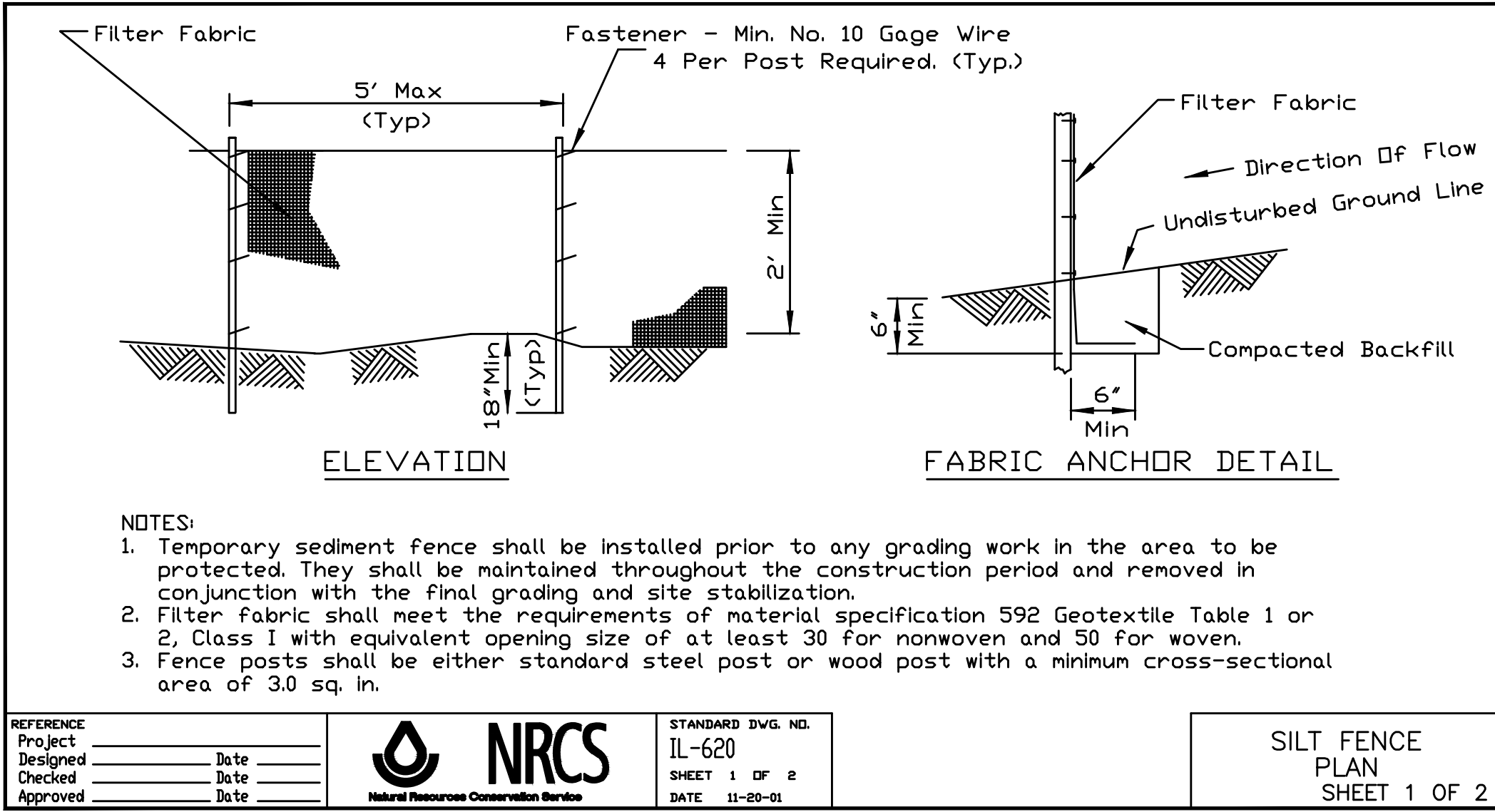
1. EROSION CONTROL IS TO BE IN PLACE BEFORE ANY WORK BEGINS ON THE SITE.
2. ROW TO BE RESTORED WITH 4" OF TOPSOIL AND SEED AND BLANKET.
3. STOCKPILE OF MATERIALS TO REMAIN FOR MORE THAN THREE DAYS SHALL HAVE EROSION CONTROL INSTALLED AROUND THE PERIMETER.

SITE PLAN
ALGONQUIN CORPORATE CAMPUS LOT #2
ALGONQUIN, ILLINOIS

Morris Engineering, Inc.
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Survey: (630) 271-0599
FAX: (630) 271-0774
Website: www.mecivil.com



FIELD CHECK:	-
DRAWN BY:	CJS
CHECKED BY:	EF
APPROVED BY:	SD
DATE:	9-16-2019
SCALE:	HORIZ 1"=30' VERT -
SHEET	2
OF 3 SHEETS	
PROJ # 19-08-2001	



DATE

1 2 3 4 5 6

DETAIL SHEET

ALGONQUIN CORPORATE CAMPUS LOT #2
ALGONQUIN, ILLINOIS

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FAX: (630) 271-0774
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FIELD CHECK: _____
DRAWN BY: CJS
CHECKED BY: EF
APPROVED BY: SD
DATE: 9-16-2019
SCALE: HORIZ scale
VERT scale

SHEET

3

OF 3 SHEETS

PROJ # 19-08-2001

