

AGENDA
COMMITTEE OF THE WHOLE
March 27, 2018
2200 Harnish Drive
Village Board Room
- AGENDA -
7:30 P.M.

Trustee Glogowski – Chairperson
Trustee Steigert
Trustee Sosine
Trustee Spella
Trustee Jasper
Trustee Brehmer
President Schmitt

1. **Roll Call – Establish Quorum**
2. **Public Comment – Audience Participation** (*Persons wishing to address the Committee on an item on this agenda must register with the Chair prior to roll call.*)
3. **Community Development**
 - A. Consider a Final PUD and Final Plat of Subdivision for River Bluff Estates, 1033 N. River Road
 - B. Consider a Final PUD Amendment for Algonquin Town Center, 1300-1440 E. Algonquin Road
4. **General Administration**
5. **Public Works & Safety**
 - A. Consider an Agreement with Water Well Solutions for the Well 11 Rehabilitation Project
6. **Executive Session**
7. **Other Business**
8. **Adjournment**



VILLAGE OF ALGONQUIN
COMMUNITY DEVELOPMENT DEPARTMENT

– M E M O R A N D U M –

DATE: March 27, 2018

TO: Committee of the Whole

FROM: Benjamin A. Mason, AICP, Senior Planner

SUBJECT: **Case No. 2017-06. River Bluff Estates – Final Plat and Final PUD**

Introduction

Mr. Eric Gulbrandsen of Transformation Builders LLC has submitted a petition for Final Plat of Subdivision and Final Planned Development for the 7-acre property located at 1033 North River Road. The proposed development would subdivide the property into 6 single-family residential lots. Please see the attached property in question map.

Background

The subject property is zoned R-1 single family residential. The land is currently made up of three individual lots, two of which extend south through to Highland Avenue. The property slopes upward a total of 120 feet from North River Road to the rear lot line and a majority of the site is currently undeveloped and consists of a steep hillside with wooded bluffs. Historically, there were two single family homes along River Road, and the petitioner's proposal is to demolish any remaining structures and outbuildings located on the lots.

The petitioner submitted the attached development plans to subdivide the property and create a total of six (6) buildable lots, three with access onto River Road and the other three fronting along Highland Avenue.

Staff Comments

Attached are comments on the enclosed development plans from Christopher Burke Engineering, Public Works, and the Algonquin-Lake in the Hills Fire District.

Plat of Subdivision – The plat of subdivision proposes to create six (6) buildable lots. Lots 1-3 will have frontage on Highland Road, and Lots 4-6 will be oriented toward North River Road. The plat shows the required 30-foot front and rear yard setbacks, as well as 7.5-foot side yard setback between lot per the R-1 zoning district.

The petitioner is proposing to provide Lots 4-6 with their own dedicated river frontage, as shown on the plat. Each buildable lot and its respective river frontage parcel shall be

unified with a single Property Identification Number (PIN) to clearly and permanently tie the two together.

Due to the petitioner's intent to sell the lots to different builders, a note shall be added to the Plat that each individual property owner will be required to apply for their own building permit, as well as, be responsible to provide a detailed engineering plan for their particular lot that depicts the final grading, building and driveway footprints, tree removal, utility services, and the stormwater Best Management Practices such as rain gardens or drywells that will be installed on the lot.

On a related note, it should be noted the petitioner has addressed to Staff's satisfaction an area of land that both he and his neighbor at 1121 N. River Road had previously both claimed ownership to; specifically, the petitioner has recorded with the county a 'quit claim deed' that gives ownership of the disputed area – at the north side of Lot 6 - to his neighbor at 1121 N. River Road and the updated plat of subdivision appropriately reflects this revision.

Architecture – The petitioner will be selling off the individual lots to different homebuilders. Enclosed are renderings showing the proposed design and appearance of the homes. Though the specific elevations will be provided by each individual homeowner in the future, Staff supports the Planning and Zoning Commission's recommendation that premium building materials – such as hardie board, wood siding and masonry – be used on the exterior of the homes, rather than common aluminum or vinyl siding products.

To clarify a question that was brought up at the Planning and Zoning Commission, per Village Code, the front of the homes on Lots 4-6 shall be considered the side that faces the street which is required to have address numbers on it. Each house shall comply with the village's bulk chart requirements for R-1 residential zoning district, which includes a maximum height of 25 feet from grade at the side of the home nearest the street.

Stormwater Management – The subdivision will be required to comply with the rules and regulations of the Kane County Stormwater Ordinance, which the Village adopted in 2005 and applies to all property in both the McHenry and Kane county portions of Algonquin. The Village Engineer has reviewed the petitioner's request to pay a fee-in-lieu of providing on-site detention, and determined it to be reasonable given the significant grade change and wooded nature of the property that make the installation of traditional detention basins unfeasible. Based on the county's fee-in-lieu value of \$90,000 per acre-foot and project engineer's estimate that the development will involve 0.74 acre feet of impervious disturbance, the required fee to be paid to the Village in-lieu of stormwater detention will be \$66,600.

The petitioner has also addressed the Village Engineer's earlier recommendations to incorporate stormwater retention features on the individual lots, to comply with the county ordinance's requirement that regardless of whether or not on-site detention is provided, site runoff shall not increase beyond what exists pre-development. To address this requirement, the sump pumps are shown on the engineering plans to connect to dry wells at the rear of

the homes on Lots 1-3 along Highland Avenue and rain gardens are shown in front of the homes on Lots 4-6 to help capture surface runoff.

Additionally, the petitioner and project engineer have incorporated a solution to existing off-site stormwater runoff that impacts the adjacent property at 1121 North River Road. A series of drywells connected through underground stormwater piping at the north end of Lot 6 have been designed to convey stormwater around the neighboring lot in a positive manner.

Water Service – The three residential lots along Highland Avenue will be served by the existing watermain on Highland. The Village Subdivision Ordinance requires all subdivisions and PUD's to connect to the Village water system and the petitioner's original plans attempted to extend a watermain down from Highland to River Road. The logistics of installing a main down such a significant hillside slope would have required the addition of a Pressure Reducing Valve, which would have been quite expensive and made the development unfeasible. Staff offered a compromise position whereby, the 3 lots on Highland Avenue simply tap-on to the existing watermain in the right-of-way on Highland, and the 3 lots on River Road would be allowed to have private wells. The petitioner will only be required to pay a fee-in-lieu of installing a 16" watermain along the approximately 236 linear feet of – relatively flat – River Road frontage, which would have been a minimum requirement per the Subdivision Code. If and when the Village's public water system becomes available to the lots on River Road, the homeowners at that time will be required to abandon the wells and pay the tap-on fees to connect to the watermain.

Sanitary Sewer Service – The development will be required to connect to existing sanitary sewer infrastructure in the immediate area. Lots 1, 2, 3 will be served by the sanitary sewer main on Highland Avenue. Lots 4, 5, 6 are proposed to be served by a 2" low-pressure force main that was installed on North River Road in 1998 by a private property owner. The petitioner has provided Village Staff with background information from when the force main was originally installed that confirms sufficient capacity is available to serve the three (3) proposed lots on River Road. The petitioner shall also be required to pay the recapture fees associated with connection to the North River Road force main.

Tree Preservation – The petitioner provided a tree survey of the property and shall be required to comply with the Village's loss fee requirements for tree removal. Though development on each parcel is anticipated to occur toward the front portion of each lot, the petitioner would like to have flexibility for the individual homebuilders to determine the exact footprint and location of the homes. Therefore, the final impact on tree loss will be determined at the time final building and engineering plans are submitted by builders of each lot. Each individual builder will be required to pay the Village's tree loss fee of \$100 per caliper inch for tree removal on their particular lot associated with the construction of their home. Wherever possible, building footprints, driveways, utility services and any other site improvements shall be designed to minimize the impact on tree loss.

Development Phasing – As referenced in the previous section concerning the calculation of tree loss fees, the subdivision will likely be developed over a period of a few years as the lots are sold and individual homebuilders propose their specific plans for each lot. In an effort to clearly outline development phasing requirements and delineate the responsibilities of the petitioner as well as individual homebuilders, below is an overview Village Staff recommends apply to the project:

- Phase One – Overall Property
 - Petitioner shall be required to record the Plat of Subdivision, which shall be updated to address the Village Engineer’s comment that the total amount of impervious surface for the entire subdivision – 0.52 acres – be apportioned across all six (6) lots, not just Lots 4-6 along River Road.
 - Petitioner shall pay to the Village the required fee-in-lieu of stormwater detention, in accordance with the Kane County Stormwater Ordinance.
 - Petitioner shall pay to the Village a fee-in-lieu of watermain construction for the approximately 236 linear feet of frontage on North River Road.
- Phase Two – Individual Lots
 - Purchaser of each separate lot shall be required to obtain an ‘Individual’ site development permit from the Algonquin Public Works Department, to include all grading, utility services, building and driveway footprints, stormwater improvements and tree loss calculations associated with the proposed development of their particular lot.

Planning and Zoning Consideration

On August 14, 2017 the Planning and Zoning Commission considered the petition and recommended approval (6-1) of the request for Final Plat of Subdivision and Final Planned Unit Development, subject to the conditions listed by staff and an additional recommendation that premium building materials, such as hardie board, wood siding and masonry – be used on the exterior of the homes, rather than common aluminum or vinyl siding products.

Recommendation

Staff concurs with the Planning and Zoning Commission and recommends approval of the Final Plat of Subdivision and Final Planned Unit Development with the following conditions:

1. The Plat of Subdivision as prepared by Vanderstappen Land Surveying, Inc. dated February 21, 2018 shall be revised to incorporate comments from the March 19, 2018 Christopher Burke memo and March 8, 2018 Public Works memo. Each buildable lot and its respective river frontage parcel shall be unified with a single Property Identification Number (PIN) to clearly and permanently tie the two together.
2. A note shall be added to the Plat of Subdivision that each individual property owner will be required to apply for their own building permit, as well as, be responsible to provide a detailed engineering plan for their particular lot that depicts the final grading,

- building and driveway footprints, tree removal, utility services, and any stormwater Best Management Practices that will be installed on the lot.
3. The individual homes shall use premium building materials, such as hardie board, wood siding and masonry – for the exterior of the homes, rather than common aluminum or vinyl siding products. Each house shall comply with the village's bulk chart requirements for R-1 residential zoning district, which includes a maximum height of 25 feet from grade at the side of the home nearest the street.
 4. The front of the homes on Lots 4-6 shall be considered the side that faces North River Road, which is required to have address numbers on it.
 5. The Engineering Plans as prepared by Spaceco Inc. with a latest revision date of February 28, 2018 shall be revised to incorporate comments from the March 19, 2018 Christopher Burke memo, March 8, 2018 Public Works memo and the May 11, 2017 Fire District memo. The plans shall be revised to indicate on each lot the maximum portion allotted for impervious surface per the project engineer's fee-in-lieu calculations. At the time individual property owners submit building/site development permit plans, Village Staff will review the actual disturbed area against what was allotted and it shall be the individual property owner's responsibility to pay any additional fee-in-lieu of detention for excess impervious surface.
 6. The residential subdivision as a whole will be required to comply with the rules and regulations of the Kane County Stormwater Ordinance. Based on the county's stormwater detention fee-in-lieu value of \$90,000 per acre-foot and project engineer's estimate that the development will involve 0.74 acre feet of impervious disturbance, the required fee to be paid to the Village in-lieu of stormwater detention will be \$66,600.
 7. Lots 1, 2, 3 shall be required to pay current water tap-on fees and connect to the Village watermain in the right-of-way on Highland Avenue.
 8. Lots 4, 5, 6 shall be allowed to install private wells and shall obtain all appropriate permits from McHenry County. A note shall be added to the Plat of Subdivision that if and when Village watermain is extended to serve these lots on North River Road, the homeowners at that time shall abandon the wells and pay the then current tap-on fees and connect to the watermain.
 9. The petitioner shall pay a fee-in-lieu of installing a 16" watermain along the approximately 236 linear feet of River Road frontage. Per the project engineer's estimated cost of \$250 per linear foot, the required fee to be paid to the Village in-lieu of watermain will be \$59,000.
 10. Lots 1, 2, 3 shall be required to pay current sanitary sewer tap-on fees and connect to the Village sewer main in the right-of-way on Highland Avenue.

11. Lots 4, 5, 6 shall be required to pay current sanitary sewer tap-on fees and connect to the North River Road force main.
12. Lots 4, 5, 6 shall also be required to pay recapture fees associated with connection to the North River Road force main, which amount to a flat fee of \$3,516 plus 8 percent annual interest.
13. The Tree Preservation Plan as prepared by Spaceco Inc. with a latest revision date of May 2, 2017 shall provide a baseline for existing tree coverage of the lots and the builder of each lot will be required to pay the Village's tree loss fee of \$100 per caliper inch for tree removal on their particular lot associated with the construction of their home.
14. The purchaser of each lot shall be required to provide detailed site engineering plans for review by the Village. The plans shall be prepared by a licensed engineer and include all grading, utility services, building and driveway footprints, stormwater improvements and tree loss calculations associated with the proposed development. The property owner shall be required to obtain a Site Development Permit for their individual lot from the Algonquin Public Works Department prior to construction.
15. The purchaser of each lot shall be required to sign a Letter of Awareness (LOA) that acknowledges the requirement they must obtain both the necessary building permits, as well as, a Site Development Permit prior to construction on their individual parcel. The LOA shall also include specific description of which lots have river/pier rights. The LOA shall be submitted by the petitioner for review and approval by the Village prior to the first Site Development Permit being issued.

Enclosures: Property Map; Public Works memo; CBBEL memo; Fire District memo; Plan Submittal

**VILLAGE OF ALGONQUIN
PLANNING AND ZONING COMMISSION
Meeting Minutes
William J. Ganek Municipal Center-Board Room
August 14, 2017
7:30 p.m.**

AGENDA ITEM 1: Roll Call to Establish a Quorum
Present: Chairperson Patrician, Commissioners Hoferle, Laipert, Neuhalfen, and Sturznickel, Postelnick, and Szpekowski.

Absent: Nonc.

Staff Members Present: Katie Parkhurst, Senior Planner; Ben Mason, Senior Planner; and Kelly Cahill, Village Attorney.

AGENDA ITEM 2: Approval of Minutes from the July 10, 2017 Meeting.
A motion by Commissioner Hoferle to approve the July 10, 2017 minutes as presented was seconded by Commissioner Neuhalfen and a voice vote noted all ayes. The motion carried.

AGENDA ITEM 3: Public Comment
There was no one wishing to make any public comment.

AGENDA ITEM 4: Request for a Final PUD and Plat of Subdivision
Case No. 2017-06 River Bluff Estates
Petitioner: Eric Gulbrandsen, Transformation Builders

OPEN PUBLIC HEARING AND ESTABLISH QUORUM

Ms. Parkhurst called roll to verify a quorum. Present: Chairperson Patrician, Commissioners Hoferle, Laipert, Neuhalfen, Sturznickel, Postelnick, and Szpekowski. Absent: None. Ms. Parkhurst announced a quorum was present.

PETITIONER COMMENTS

Ms. Cahill verified that proper notice of the meeting had been posted. Ms. Cahill swore in the petitioners. Representing the development was Eric Gulbrandsen, property owner/developer and Tom McCabe, Engineer. Mr. McCabe explained the proposal is a 6 lot subdivision between North River Road and Highland Avenue. The lots will conform to the Zoning Ordinance in terms of lot sizes. Sanitary sewer will be provided by a private sewer main on North River Road for the 3 lots on N. River. Developer will pay a fee-in-lieu of detention and use best management practices to slow and clean the water before discharging into the Fox River. Each lot will come in with separate permits due to the trees and topography on site, each house will be sited carefully. Two private wells will be added for the lots on North River Road, plus one existing well. Three lots on Highland Avenue will be served by Village water and sewer. Mr. Gulbrandsen is planning to build one house for himself and sell the other lots. Mr. McCabe stated that there is a discrepancy with a corner lot line so they will move the setback further to account for any discrepancy.

Mr. Gulbrandsen stated that he submitted a house rendering for a potential home to be built on Highland Avenue. Staff is requiring brick on the front and sides of the homes. Mr. Gulbrandsen stated that the rear of the homes really faces the river and he is asking that brick not be a requirement because he would prefer a lake style home with siding and decks. Another issue is the minimum side yard of 7.5 feet instead of 10 feet because he would like the option of side-load garages.

STAFF COMMENTS

Mr. Mason apologized for the technology difficulty with the TV this evening. Mr. Mason reviewed his staff memorandum dated August 14, 2017. The property is approximately 7 acres and consists of 3 lots. The request is for a Final Plat of Subdivision approval for 6 lots and Final PUD approval. Mr. Mason reviewed the staff concerns with the development plans. Staff feels the 7.5-foot setback is acceptable. Staff is still recommending brick/stone as the major design feature on the front and sides of the homes to be consistent with other new subdivisions. The Village is compromising on allowing the lots on North River Road to have private wells as long as the developer pays a fee in-lieu of the cost to install a watermain along the property on North River Road. The existing home on property and other buildings need to be demolished prior to plat being recorded. Phasing of work will require a site development permit for the overall subdivision and then each lot will need their own site development permit. The overall site development permit will require the initial stormwater to be addressed. All lot purchasers will be responsible for paying the appropriate tree mitigation fees and engineering costs.

COMMISSION QUESTIONS/COMMENTS

Chairperson Patrician inquired if there were any Commissioner questions or comments.

Commissioner Hoferle inquired about construction of the lots on North River Road and the direction the house faces. Who will review the architectural elevations? Mr. Mason stated that staff will review based on the Village architectural standards and those approved through this PUD. Mr. Hoferle asked who determines the front and rear of the homes. Mr. Gulbrandsen stated the homes will all be custom. Mr. Hoferle does not understand the point of masonry facing up the hill if that is the front of the house. Mr. Gulbrandsen shared an elevation of one of the proposed homes that shows all the decks on the façade facing the road and river. Mr. Mason stated that staff was not aware the rear of the home would face the street.

Commissioner Szpekowski stated the rear of the houses should be attractive. Commissioner Szpekowski inquired how the lots on North River Road would all share the river access and river property. Mr. McCabe explained that the 3 lots on North River Road would essentially have the lots lines cross the street and extend to the river. Each lot would have a piece of property to have their docks. Petitioner Szpekowski stated the preservation of trees is important.

Commissioner Postelnick questioned how the rear of the house can face the road and how that will be handled.

Commissioner Neuhalphen stated he is in agreement with the other commissioners that the building materials do not have to be brick or stone, he likes the diversity. He inquired about the size of the docks. Mr. Gulbrandsen stated that they will follow the rules to build docks, they can only be a certain size.

Commissioner Laipert inquired how the sanitary sewer works on North River Road. Mr. McCabe explained that it is a low pressure force main and each house has a grinder pump. The system is private until it reaches East Algonquin Road.

Chairperson Patrician inquired about the staff review of building standards for each house as part of the building permit. He feels the orientation of the house is acceptable, but should meet Village standards.

PUBLIC COMMENT

Chairperson Patrician called for public comments. Each person was sworn in by Ms. Cahill prior to speaking.

Jeff Brooks, 9 Echo Woods Drive, stated he has lived in Algonquin for a long time. His father, a builder, built his home on Echo Woods and it was an interesting process. This area is very unique due to the trees. He wanted his house to face the water, but was told it needed to face the street. There are also a lot of natural springs in this area and that may impact the construction. There is a lot of water in this area that flows over the land and this needs to be considered very carefully. The petitioner has already altered the water in the area and he has cut down significant trees on the site. His biggest concern is the flow of water. Having separation between the houses is important, having them close together in the woods is not attractive. This is a beautiful area and he would like to see it remain that way. The grinder pump sewer system is great and works fine. The Village maintains once it gets to Algonquin Road. This is not a typical subdivision, please do not treat it as one.

Mrs. Parkhurst noted that Village code requires a house to front on the public street. Staff has addressed the tree removal on site.

Eric Stratton and Diane Stratton, 1121 North River Road, stated the back of the house facing the road does not make any sense, please maintain that the front of the house faces the street. Mr. Stratton wishes to echo the comments that Mr. Brooks stated regarding the water running down the hillside, that is the main concern. There is a creek behind their house started with a natural spring. This creek has been rerouted by the developer and put in a pipe and that is not sufficient to handle the volume of water. This is now flowing into their yard and they are concerned about it flooding their house. The lot line is an issue as two different surveyors have looked at the property and determined that the plat the Stratton's have is accurate. Mr. Mason stated that the petitioner and the other property owner need to submit historical data and surveys to determine what is accurate. This is a requirement of Mr. Gulbrandsen to submit further information for the Village Engineer to review and determine where the lot line should be. Mr. Stratton stated he is glad to hear the abandoned house will be demolished as that is an eyesore. Mr. Mason stated the demolition needs to occur before any other permits will be issued. Mr. Stratton stated the property should be maintained according to Village codes and it has not been. He requested that the Village enforce property maintenance on this property. Ms. Stratton inquired about the tree replacement, the existing trees are huge, how do you replace that? Chairperson Patrician and Mr. Mason explained that the trees are replaced by diameter. A tree survey is required and the diameter of trees lost need to be replaced with numerous new trees and/or pay a tree mitigation fee. Ms. Stratton inquired about the impact on loss of shade. Ms. Cahill explained that the lot is zoned for residential development and they have constitutional due right to develop the land. Ms. Cahill stated that the Village can consider the house orientation although staff has not reviewed or considered this as that was not presented on the plans. Ms. Stratton asked to see the elevation drawing of the house that was submitted.

Chairperson Patrician inquired that Village codes do require the front of the house face the street. Mrs. Parkhurst stated yes and that staff would further look into the matter.

Stacey Brooks, 9 Echo Woods, inquired about the loss of trees and the idea that minimum amount of trees be distributed, how does that work if the house barely fits within the side yard setbacks. She stated that they built their house with very minimal tree loss because maintaining the trees was critical to them. Concern that many trees have been removed already. Chairperson Patrician stated that the priority is to retain the trees within reason, then replace the trees, then pay the fee if the trees cannot be preserved or replaced. Ms. Brooks feels that the Village should embrace the environment and the trees and not make it a new subdivision. She again expressed concern with the water flow.

Mr. McCabe responded to the questions stating the trees that were removed were dead ash trees, approved by the Village arborist. Mr. McCabe stated they looked at a cul-de-sac design which would have removed significantly more trees. Mr. Gulbrandsen announced the house elevation he shared during the meeting is one that a customer wishes to build. Chairperson Patrician asked if Mr. Gulbrandsen understood the front of the house needs to face North River Road. Mr. Gulbrandsen stated yes.

CLOSE PUBLIC COMMENT

COMMISSION MOTION ON PETITION

Commissioner Hoferle expressed concern about front and rear elevations and review according to the code. Mr. Mason stated that staff will review according to code regarding what constitutes the front of the homes. Mr. Mason asked for clarification on the materials that should be included. Commissioner Hoferle requested premium siding be used for the front or the elevation facing the road, he does not want to require brick. Commissioner Szpekowski stated there could be features with brick.

Chairperson Patrician inquired about the stormwater concerns and the fee in lieu. Mr. Mason stated the Village Engineer is comfortable with the fee in lieu of detention, for the typical pond. The fee is set by the Kane County Stormwater Ordinance. However, there still needs to be some stormwater diversion or bypass provided in the new development to ensure the water conditions do not change from current conditions to after development. The developer still needs to address this condition as their proposal does not satisfy the Village Engineer. Each new lot will also need to have BMP's on their lot.

Chairperson Patrician clarified that the approval this evening would be for the subdivision plat and not necessarily the orientation of the homes.

Chairperson Patrician entertained a motion to approve the request for a Final PUD and Plat of Subdivision for River Bluff Estates. Commissioner Sturznickel moved and Commissioner Neuhalfen seconded a motion to recommend approval of the request, consistent with the findings of fact listed in the August 14, 2017 Community Development memorandum, the conditions recommended by staff, and the plans submitted by the developer and the condition that premium building materials, such as hardi board, wood siding or masonry, be used on the exterior of the homes, no vinyl or aluminum siding.

The Roll Call noted the following: Ayes: Chairperson Patrician; Commissioners Hoferle, Laipert, Neuhalfen, Sturznickel, and Szpekowski. Nays: Postelnick. Absent: None. Motion carried 6-1.

CLOSE PUBLIC HEARING

AGENDA ITEM 5: Request for a Special Use Permit

Case No. 2017-08 Kids Island Learning Center, 1600 E. Algonquin Road
Petitioner: Krzysztof Szczepanec, Kids Island Learning Center

OPEN PUBLIC HEARING AND ESTABLISH QUORUM

Ms. Parkhurst called roll to verify a quorum. Present: Chairperson Patrician; Commissioners Hoferle, Laipert, Neuhalfen, Postelnick, Sturznickel, and Szpekowski. Absent: None. Ms. Parkhurst announced a quorum was present.

PETITIONER COMMENTS

Ms. Cahill verified that proper notice of the meeting had been posted. Ms. Cahill swore in the petitioner. Representing the petitioner was Mr. Krzysztof Szczepanec, business owner. The business is a learning and day care center for children ages 2-12 years old. In addition to typical daycare, the older students will be able to get help with homework before or after regular school hours. The business has three other locations and ninety percent of students are from Polish-speaking families. Children are taught in Polish and English, with a greater emphasis on English as they prepare to enter kindergarten in the local public school system. The business would be open 7am to 6pm, Monday through Saturday. The rear portion of the building which was originally designed as a warehouse would be converted into an indoor play area. There will also be an outdoor playground.

STAFF COMMENTS

Ms. Parkhurst reviewed her staff report for the Commission. The property is zoned B-2 PUD, and a daycare use would be allowed with a Special Use Permit. The building was formerly Rec Room Furniture, which closed in 2008. No exterior changes are proposed however a new outdoor play area would be added on the east side of the building and be fenced in. The business will be required to follow the Village's sign ordinance regulations and any commercial vans or vehicles would be required to be parked back away from Ryan Parkway.

COMMISSION QUESTIONS/COMMENTS

Chairperson Patrician inquired if there were any Commissioner questions or comments.

Commissioner Sturznickel asked if there are windows on the building, to which the petitioner stated yes there are and each classroom will likely have two large windows. Commissioner Sturznickel asked if there will be a fence around the outdoor playground, to which the petitioner stated yes. Commissioner Sturznickel asked if security cameras will be installed, to which the petitioner stated yes there will be some in the hallways and common spaces but not in the individual classrooms.

Commissioner Laipert asked how children will be dropped off, to which the petitioner explained people will park and walk their children to a secure door at the front entrance.

Property in Question Map





CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 West Higgins Road Suite 600 Rosemont, Illinois 60018 TEL (847) 823-0500 FAX (847) 823-0520

March 19, 2018

Village of Algonquin
2200 Harnish Drive
Algonquin, IL 60102

Attention: Ben Mason, Senior Planner

Subject: River Bluff Estates – FIFTH REVIEW
Algonquin Case No. 2017-06
(CBBEL Project No. 07-0272.00101)

Dear Ben:

We have reviewed the following documents related to this project:

- Site Improvement Plans prepared by SPACECO, Inc. bearing a revision date of February 28, 2018
- Response Memo to Village of Algonquin and CBBEL Comments prepared by SPACECO, Inc. bearing no revision date
- Final Plat of Subdivision prepared by Vanderstappen Land Surveying, Inc. bearing a revision date of February 21, 2018

The following need to be addressed before we can recommend acceptance to the Village:

SITE IMPROVEMENT PLANS

Sheet GRUT2 (6 of 12)

1. The newly added impervious surface table needs to be corrected to reflect that the 0.52 acres of allowable impervious surface is to be spread over all six (6) lots and not just the three (3) listed in the table. The attached exhibit from the engineer details the original detention calculations and how the value of 0.52 acres was derived.

FINAL PLAT OF SUBDIVISION

2. The newly added impervious surface table needs to be corrected to reflect that the 0.52 acres of allowable impervious surface is to be spread over all six (6) lots and not just the three (3) listed in the table. The attached exhibit from the engineer details the original detention calculations and how the value of 0.52 acres was derived.

OUTSIDE PERMITTING AGENCIES

3. A permit is required from the Kane County Health Department for the proposed private wells. **NO RESPONSE REQUIRED**

GENERAL COMMENTS

4. The plans note that the three lots along River Road will have individual water access rights. Any proposed docks will need to conform with IDNR Regional Permit 3 requirements or whatever will replace it given the proposed IDNR revisions to the applicable regulations. **NO RESPONSE REQUIRED**

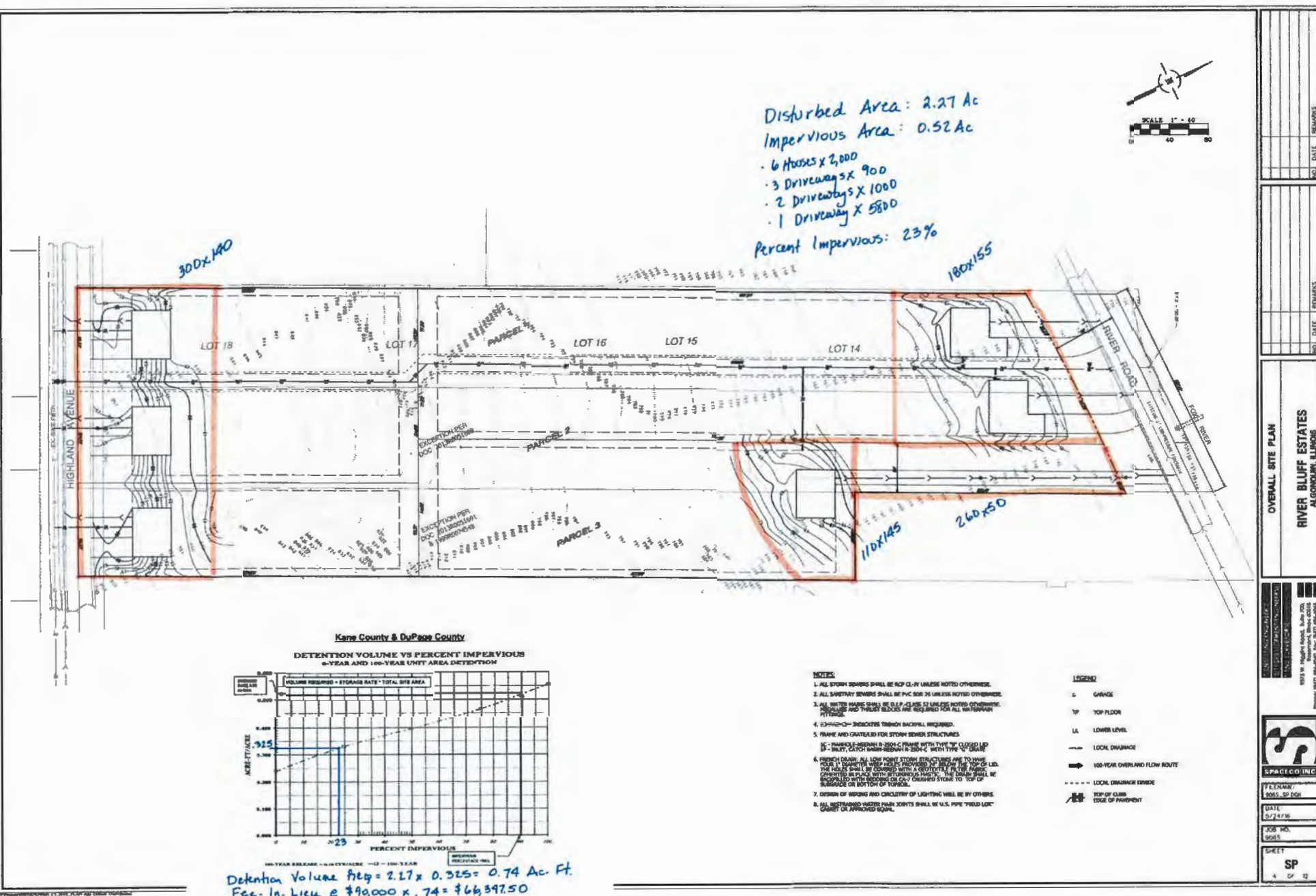
Sincerely,



Paul R. Bourke, PE, CFM, CPMSM
Assistant Head, Municipal Department



Michael E. Kerr, PE
Executive Vice President



Defention Volume Req = $2.27 \times 0.325 = 0.74$ Ac. Ft.
Fee- In. Lieu @ \$90,000 x .74 = \$68,700.00



VILLAGE OF ALGONQUIN

PUBLIC WORKS DEPARTMENT

– M E M O R A N D U M –

DATE: *Thursday, March 8, 2018*
TO: *Ben Mason*
FROM: *Shawn M. Hurtig*
SUBJECT: *Public Works Review # 5 – Final PUD & Final Plat
River Bluff Estates (CD2017-06)*

Please find below Public Works staff comments, concerns, and issues, on the subject project. This project was reviewed per your direction. Should you have any questions, comments, or concerns, with the content of this review memo, please do not hesitate to contact me.

MISC. PROJECT INFO COMMENTS

1. Ecological
 - a. Eco CAT revealed no none threatened or endangered species, however tree removal must conform to Northern Long Eared Bat regulations
2. Environmental
 - a. 1033 N. River Road – Submit Ph. 1 Env Report (Well, Septic, Fuel Tanks, etc..)
 - b. Well & Septic abandonment requires McHenry County permits
3. Submit any geotechnical reports

PLAN SET COMMENTS

PAGE ISSUE

NO FURTHER PLAN SET COMMENTS

END

Cc: Project File (listed in footer)

Attachments: None



Algonquin-Lake in the Hills Fire Protection District

1020 West Algonquin Road • Lake in the Hills, IL 60156 • (847) 658-8233 • Fax: (847) 854-2609

To: Ben Mason

From: Michael D. Murphy

Subject: Case No. 2017-06
River Bluff Estates

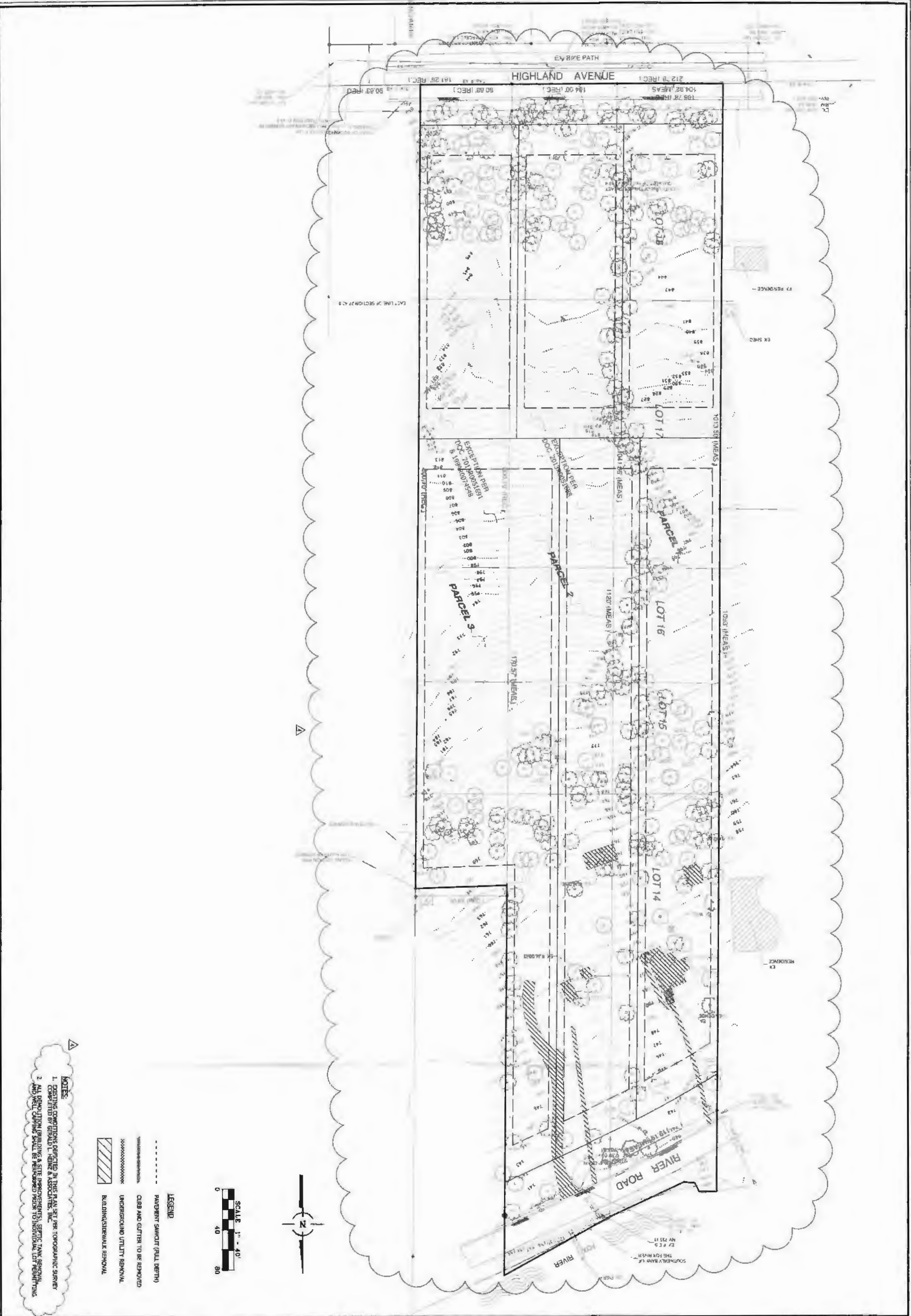
Date: May 11, 2017

Parcel #3 exceeds the 300' requirement from a fire hydrant which needs to be addressed.

Trustees
Virgil J. Corless
John Bradach
Michael Markowitz
Rick Naatz
Tom Matusek

Fire Chief
Patrick Mullen

Commissioners
Jay Atherton
Tamara Miner-Corso
Jeff Harper

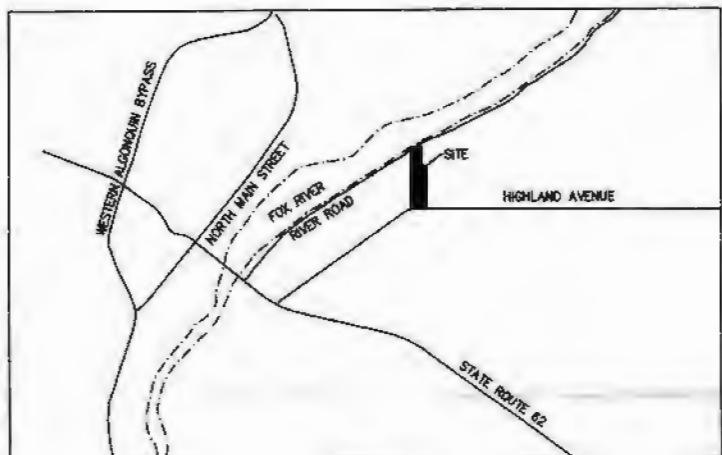


FINAL PLAT OF RIVER BLUFF ESTATES SUBDIVISION

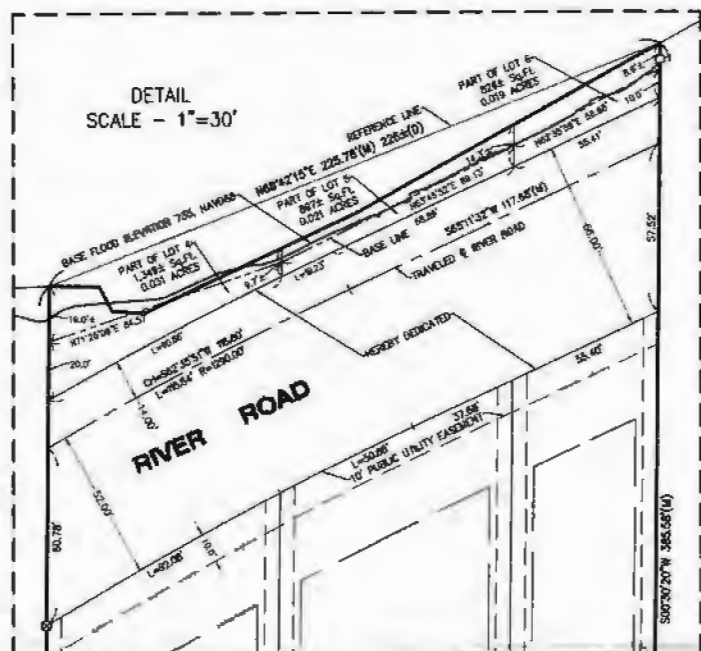
Being a Subdivision of Part of Lots 14, 15, 16, 17 & 18 of the Assessor's
plat of the Southeast Fractional Quarter of Section 27, Township 43 North,
Range 8 East of the Third Principal Meridian, in McHenry County, Illinois.

Village of Algonquin

Algonquin Township



SITE MAP
N.T.S.



IMPERVIOUS AREA TABLE SUMMARY

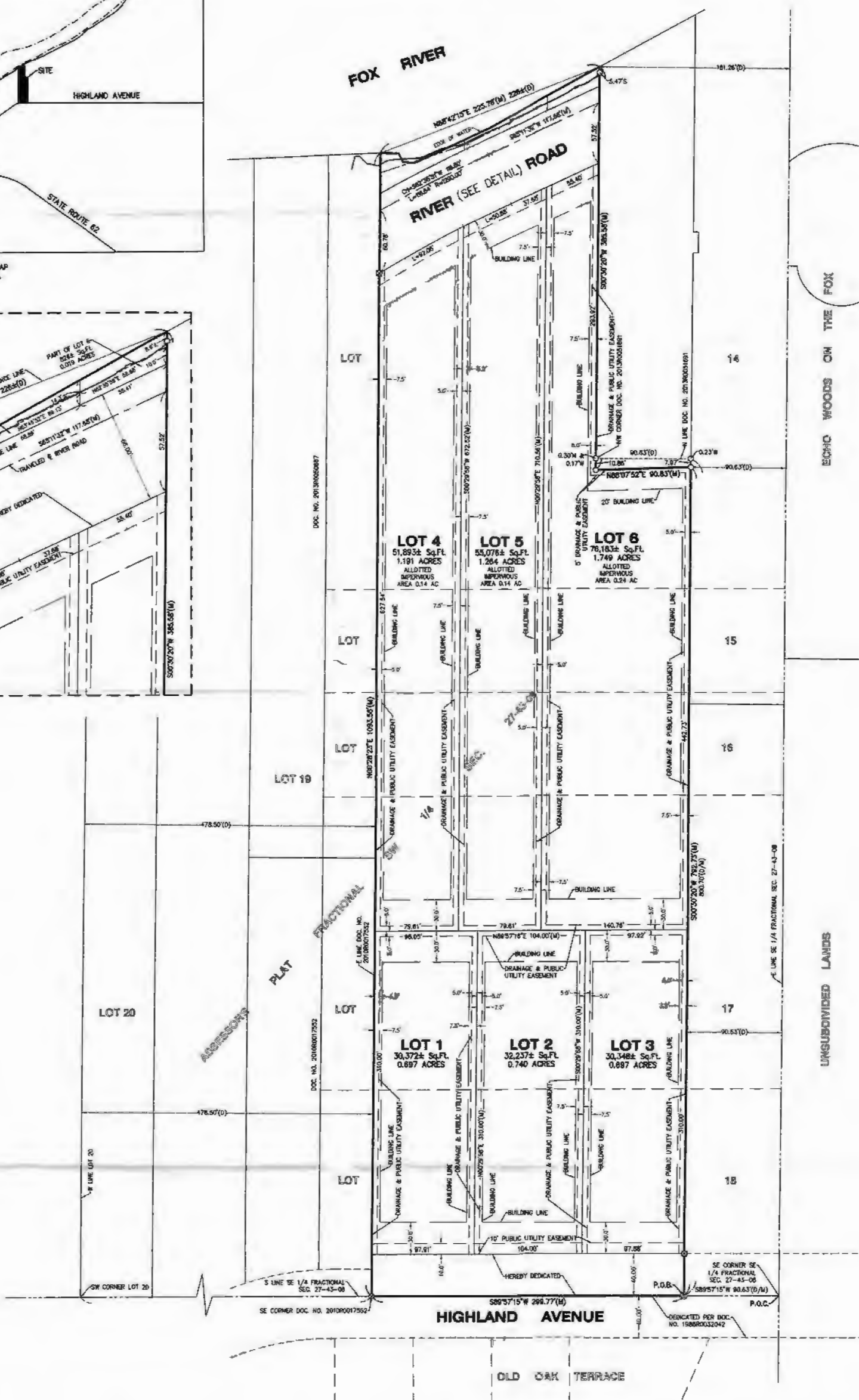
WEST LOT (LOT 4) = 0.14 AC
MIDDLE LOT (LOT 5) = 0.14 AC
EAST LOT (LOT 6) = 0.24 AC

TOTAL BMP STORAGE SUMMARY

PROPOSED IMPERVIOUS (LOTS 4-6)	=	0.52 ACRES
BMP STORAGE (REQ.)	=	0.035 AC-FT
BMP STORAGE (PROV.)	=	0.050 AC-FT

INDIVIDUAL LOT BMP STORAGE SUMMARY

	REQUIRED	PROVIDED
WEST LOT (LOT 4)	0.010 AC-FT	0.014 AC-FT
MIDDLE LOT (LOT 5)	0.010 AC-FT	0.019 AC-FT
EAST LOT (LOT 6)	0.015 AC-FT	0.017 AC-FT



LEGEND

○	FOUND IRON PIPE
⊙	FOUND MAG NAIL
⊗	SET CONCRETE MONUMENT
⊕	SET IRON BAR
⊖	SET SPIKE
(M)	MEASURED
(R)	RECORD
(D)	DEED

TOTAL AREA - 7.058± ACRES

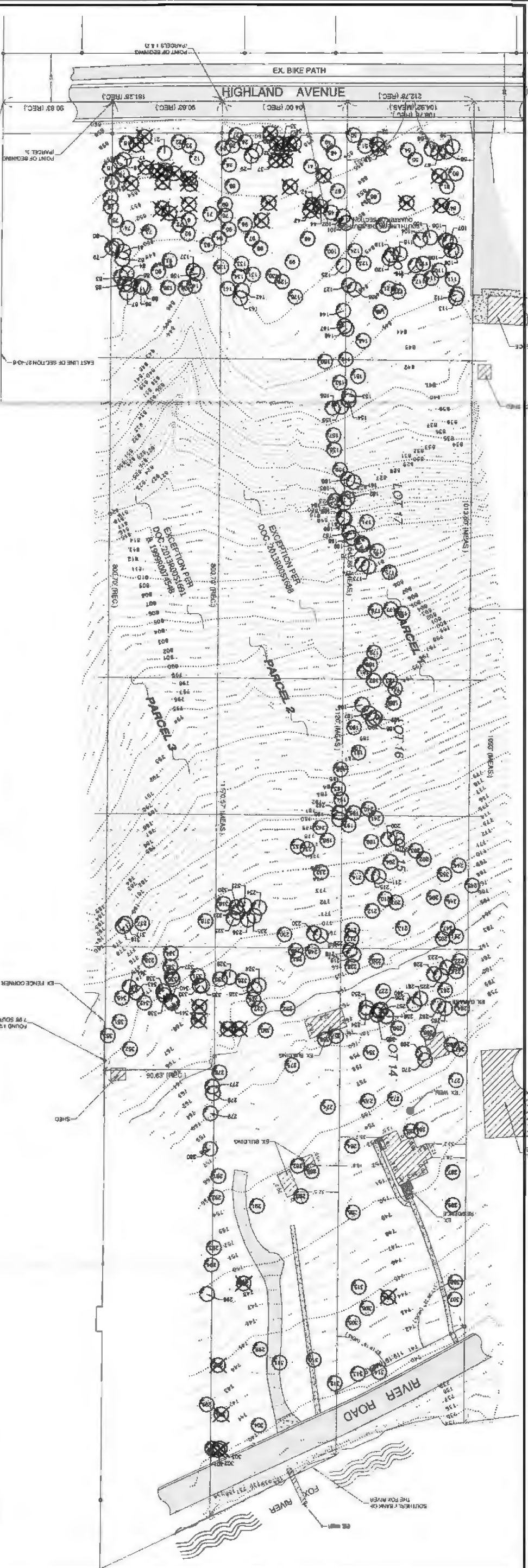


CLIENT: TRANSFORMATION BUILDERS
DRAWN BY: DAM CHECKED BY: KJV
SCALE: 1"=50' SEC. 27 T. 43 R. 08 E.
BASIS OF BEARING: ASSUMED
P.L.N.: 19-27-478-014; -045; -046
JOB NO.: 170101 L.D. FPS
FIELDWORK COMP.: 3/15/17 BK. PG.
ALL DISTANCES SHOWN IN FEET AND DECIMAL INCHES.
PARTS WHERE CORRECTED TO BE F.

REVISIONS		
NO.	DATE	DESCRIPTION
1	6/28/17	REVISIONS PER COMMENTS
2	8/30/17	REVISED BUILDING LINES PER CLIENT
3	12/6/17	ADDED TABLES PER CLIENT
4	12/14/17	ADDED FOUND PIPE TO NORTH LINE
5	2/21/18	REVISIONS PER COMMENTS

RIVER BLUFF ESTATES

SHEET NO.
1 OF 2



Lot	Area	Tree Count	Tree Species	Notes
14	1.00	1	Black Cherry	
15	1.00	1	Black Cherry	
16	1.00	1	Black Cherry	
17	1.00	1	Black Cherry	

Lot	Area	Tree Count	Tree Species	Notes
18	1.00	1	Black Cherry	
19	1.00	1	Black Cherry	
20	1.00	1	Black Cherry	
21	1.00	1	Black Cherry	

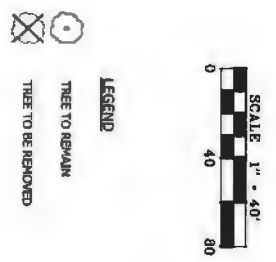
Lot	Area	Tree Count	Tree Species	Notes
22	1.00	1	Black Cherry	
23	1.00	1	Black Cherry	
24	1.00	1	Black Cherry	
25	1.00	1	Black Cherry	

Lot	Area	Tree Count	Tree Species	Notes
26	1.00	1	Black Cherry	
27	1.00	1	Black Cherry	
28	1.00	1	Black Cherry	
29	1.00	1	Black Cherry	

Lot	Area	Tree Count	Tree Species	Notes
30	1.00	1	Black Cherry	
31	1.00	1	Black Cherry	
32	1.00	1	Black Cherry	
33	1.00	1	Black Cherry	

Lot	Area	Tree Count	Tree Species	Notes
34	1.00	1	Black Cherry	
35	1.00	1	Black Cherry	
36	1.00	1	Black Cherry	
37	1.00	1	Black Cherry	

Lot	Area	Tree Count	Tree Species	Notes
38	1.00	1	Black Cherry	
39	1.00	1	Black Cherry	
40	1.00	1	Black Cherry	
41	1.00	1	Black Cherry	



Lot	Area	Tree Count	Tree Species	Notes
42	1.00	1	Black Cherry	
43	1.00	1	Black Cherry	
44	1.00	1	Black Cherry	
45	1.00	1	Black Cherry	

Lot	Area	Tree Count	Tree Species	Notes
46	1.00	1	Black Cherry	
47	1.00	1	Black Cherry	
48	1.00	1	Black Cherry	
49	1.00	1	Black Cherry	

Lot	Area	Tree Count	Tree Species	Notes
50	1.00	1	Black Cherry	
51	1.00	1	Black Cherry	
52	1.00	1	Black Cherry	
53	1.00	1	Black Cherry	

Lot	Area	Tree Count	Tree Species	Notes
54	1.00	1	Black Cherry	
55	1.00	1	Black Cherry	
56	1.00	1	Black Cherry	
57	1.00	1	Black Cherry	

Lot	Area	Tree Count	Tree Species	Notes
58	1.00	1	Black Cherry	
59	1.00	1	Black Cherry	
60	1.00	1	Black Cherry	
61	1.00	1	Black Cherry	

Lot	Area	Tree Count	Tree Species	Notes
62	1.00	1	Black Cherry	
63	1.00	1	Black Cherry	
64	1.00	1	Black Cherry	
65	1.00	1	Black Cherry	

Lot	Area	Tree Count	Tree Species	Notes
66	1.00	1	Black Cherry	
67	1.00	1	Black Cherry	
68	1.00	1	Black Cherry	
69	1.00	1	Black Cherry	

SPRAGUE INC.

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

TREE PRESERVATION PLAN

RIVER BLUFF ESTATES
ALGONQUIN, ILLINOIS

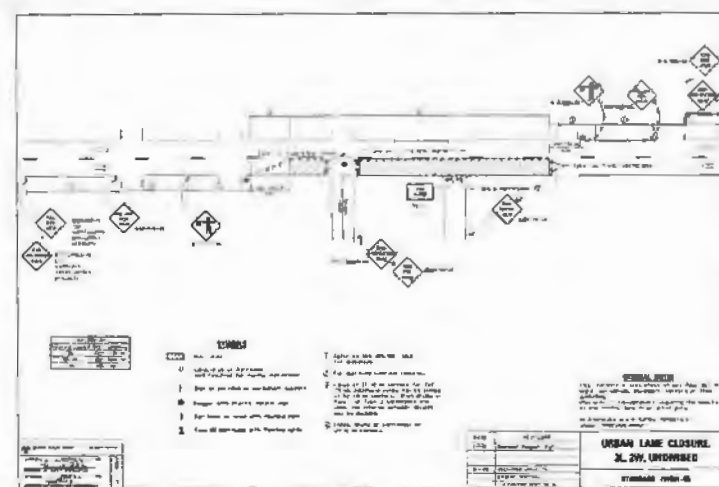
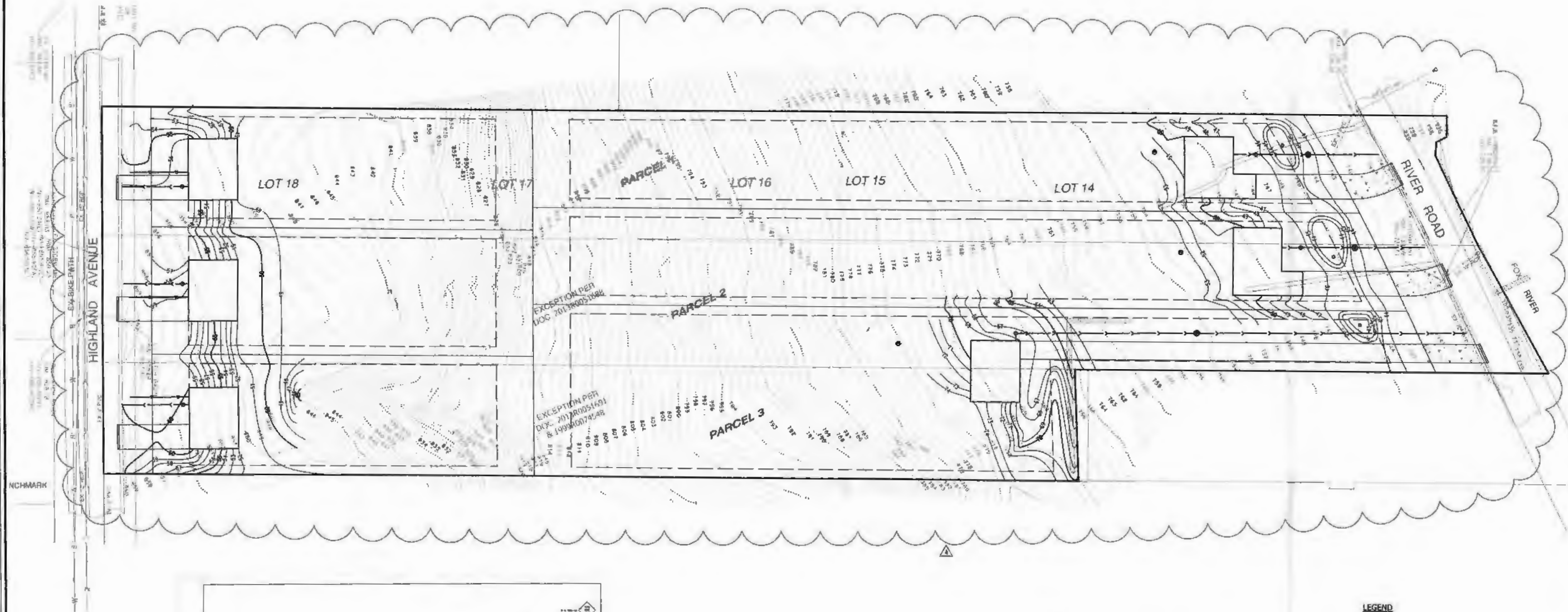
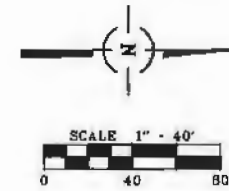
NO.	DATE	REMARKS

NO.	DATE	REMARKS

DATE: 5-2-17

JOB NO. 9095

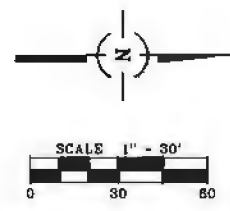
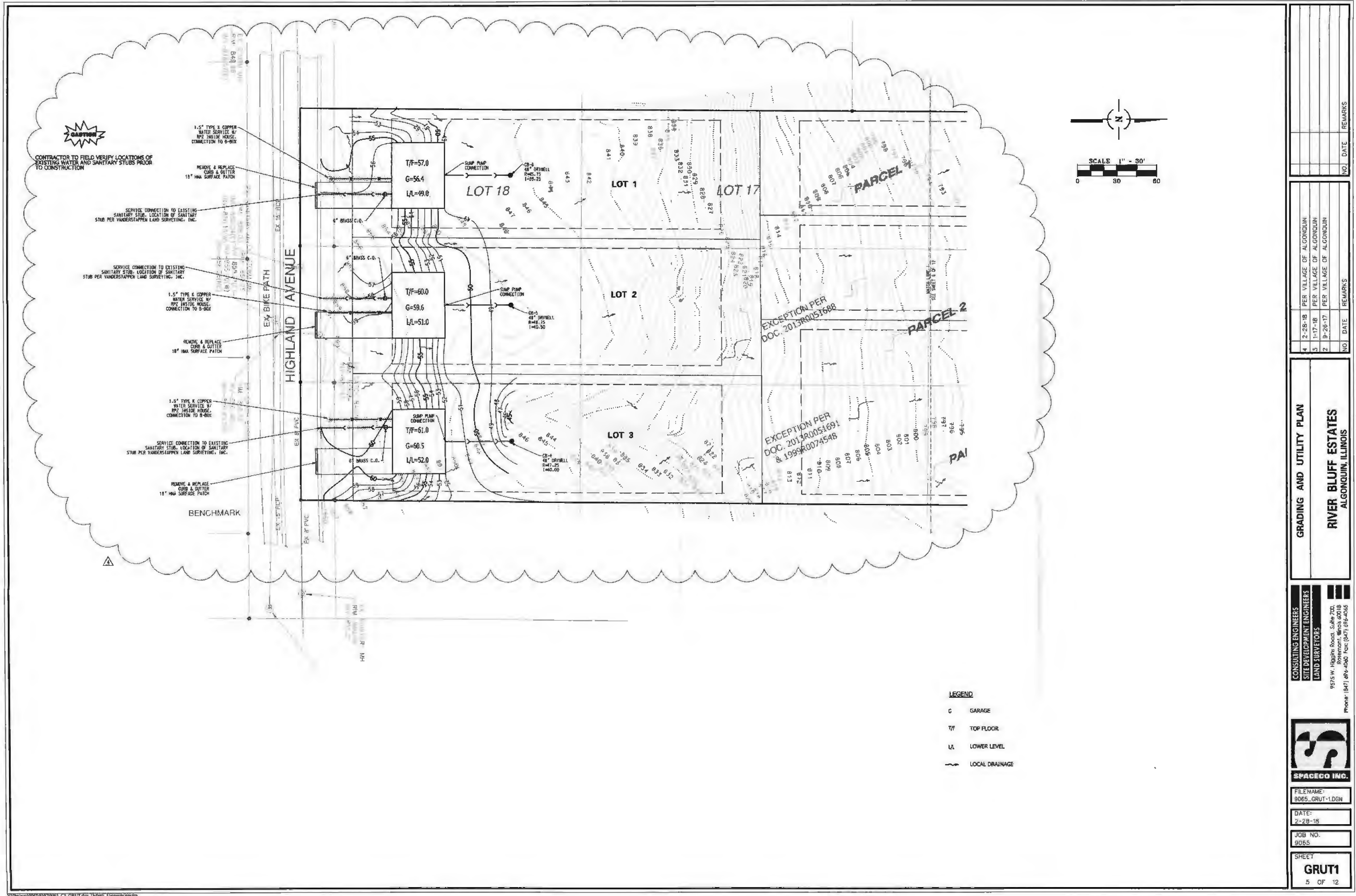
SHEET EXH 1 OF 1



- NOTES:**
1. ALL STORM SEWERS SHALL BE RCP CL-IV UNLESS NOTED OTHERWISE.
 2. ALL SANITARY SEWERS SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE.
 3. INDICATES TRENCH BACKFILL REQUIRED.
 4. FRAME AND GRATE/LID FOR STORM SEWER STRUCTURES
- IC - MANHOLE-NEENAH R-2504-C FRAME WITH TYPE "B" CLOSED LID
IP - INLET, CATCH BASIN-NEENAH R-2504-C WITH TYPE "G" GRATE

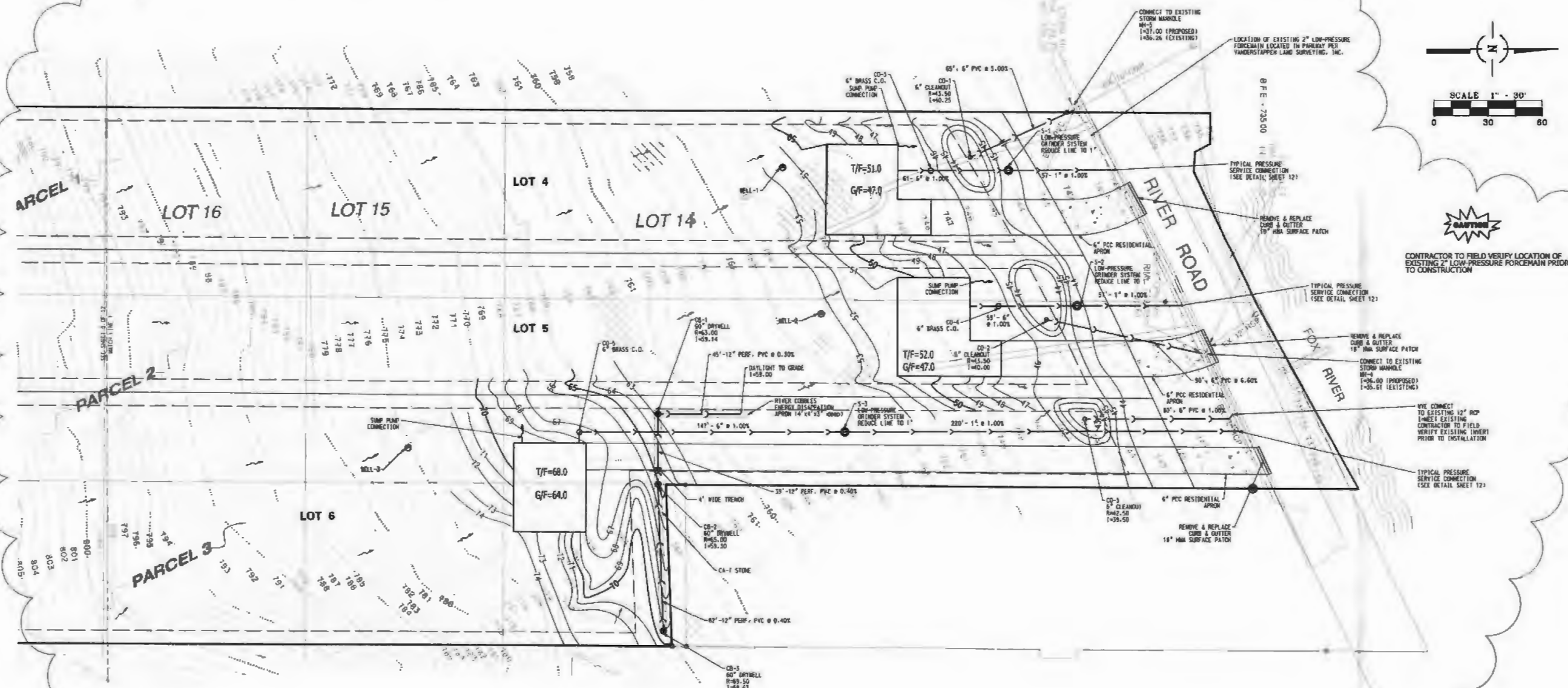
- LEGEND**
- G GARAGE
 - T/F TOP FLOOR
 - UL LOWER LEVEL
 - LOCAL DRAINAGE

CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS		OVERALL SITE PLAN	
9575 W. Higgins Road, Suite 700 Rosemont, Illinois 60018 Phone: (847) 694-4240 Fax: (847) 694-4245		RIVER BLUFF ESTATES ALGONQUIN, ILLINOIS	
FILENAME:	9065_SP.DGN	PER VILLAGE OF ALGONQUIN	2-28-18
DATE:	2-28-18	PER VILLAGE OF ALGONQUIN	9-26-17
JOB NO.	9065	NO.	DATE
SHEET	SP	REMARKS	REMARKS
4	OF 12		



- LEGEND
- G GARAGE
 - T/F TOP FLOOR
 - L/L LOWER LEVEL
 - LOCAL DRAINAGE

GRADING AND UTILITY PLAN		
RIVER BLUFF ESTATES ALGONQUIN, ILLINOIS		
CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS 9515 W. Higgins Road, Suite 200, Rosemont, Illinois 60018 Phone: (847) 894-4000 Fax: (847) 894-4006		
 SPACECO INC.		
FILENAME: 9065_GRUT-1.DGN		
DATE: 2-28-18		
JOB NO. 9065		
SHEET GRUT1 5 OF 12		
NO.	DATE	REMARKS
4	2-28-18	PER VILLAGE OF ALGONQUIN
3	1-17-18	PER VILLAGE OF ALGONQUIN
2	9-26-17	PER VILLAGE OF ALGONQUIN



IMPERVIOUS AREA TABLE SUMMARY	
WEST LOT (LOT 4)	= 0.14 AC
MIDDLE LOT (LOT 5)	= 0.14 AC
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TOTAL BMP STORAGE SUMMARY	
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	REQUIRED	PROVIDED
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MIDDLE LOT (LOT 5)	0.010 AC-FT	0.019 AC-FT
EAST LOT (LOT 6)	0.015 AC-FT	0.017 AC-FT

LEGEND

- G GARAGE
- T/F TOP FLOOR
- L/L LOWER LEVEL
- LOCAL DRAINAGE

NOTES:

- RAIN GARDEN TO BE FINISHED WITH 12" TOPSOIL, SEED AND BLANKET. RAIN GARDENS TO HAVE 6" PERFORATED PVC UNDERDRAINS.
- THE REQUIRED SIDE YARD SHALES BETWEEN ADJACENT PROPERTIES SHALL BE CONSTRUCTED WITH THE DEVELOPMENT OF THE FIRST PROPERTY OF THE ADJACENT PAIR. THE CENTERLINE OF THE SHALE SHALL BE CONTAINED WITHIN THE FIRST DEVELOPED LOT UNLESS WRITTEN PERMISSION IS OBTAINED FOR TEMPORARY GRADING ON THE ADJACENT LOT.
- ALL SANITARY SEWERS SHALL BE SCH 40 (ASTM 1785).

GRADING AND UTILITY PLAN

RIVER BLUFF ESTATES ALGONQUIN, ILLINOIS

CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 496-4060 Fax: (847) 496-4065



SPACECO INC.

FILENAME:
9065_GRUT2.DGN

DATE:
2-28-18

JOB NO.
9065

SHEET
GRUT2

8 OF 12

Conceptual / Preliminary Building Elevations
– for illustrative purposes only





VILLAGE OF ALGONQUIN
COMMUNITY DEVELOPMENT DEPARTMENT

– M E M O R A N D U M –

DATE: March 27, 2018

TO: Committee of the Whole

FROM: Benjamin A. Mason, AICP, Senior Planner

SUBJECT: **Case No. 2018-02. Algonquin Town Center – Final PUD Amendment**

Introduction

Mr. Mehran Farahmandpour, on behalf of the new property owner DTS Properties LLC, has submitted a petition to make architectural and site improvements to the Algonquin Town Center shopping center at 1300-1440 E. Algonquin Road (pictured at right). The property is zoned B-2 PUD, General Retail and the commercial center was originally built in 1988. The site is generally located on the north side of Algonquin Road / Route 62 between Sandbloom Road and Ryan Parkway.

The shopping center is now approximately 30 years old and a new owner has recently purchased the property and intends to freshen up its appearance with updated façade treatments and signage as well as landscaping and parking lot improvements.

Action Requested

This petition involves a request for Final PUD Amendment for the architectural design enhancements and site upgrades.



Existing:
Algonquin Town Center
1300-1440 E. Algonquin



Staff Comments

Attached are comments on the proposed plans from Christopher Burke Engineering, Public Works and the Police Department. Outlined below are some highlights of the proposal:

Architecture – The new owner will remove the existing green corrugated aluminum roof awnings and beige EIFS siding material, to be replaced by a strong roofline with different heights and horizontal crown features. New EIFS material will provide a clean,

attractive façade with a mix of white, light and dark greys to provide the center with visual interest. Dark reddish-brown wood grain panels will also be incorporated above some storefronts, to break up the monotony and provide some additional texture to the façade treatments. The single existing tower toward the middle of the shopping center, which once housed a clock element, will be removed and its vertical presence will be replaced by several prominent bump out tower-like accents throughout the length of the entire façade.



Signage – A common sign plan is proposed for the new storefront wall signs, in either red or white channel lettering as can be seen on the color renderings. Additionally, the new owner is proposing some minor cosmetic improvements to the existing pylon sign along Algonquin Road such as paint to match the shopping center’s new color package. As Commission members might be aware, the existing pylon sign does not conform to the current Sign Code regulations which limits such free-standing signage to lower, monument- style signs.

The owner has agreed to remove the non-conforming sign within five (5) years and is requesting to replace it with two (2) new ground signs as depicted on page SN1 of the plan submittal. It is important to note that the property – by right – would be granted under current Sign Code regulations a single monument sign with two (2) tenant panels. Staff supports the request for an additional monument sign and three (3) tenant panels due to the future removal of the current pylon sign as well as the fact that the East Algonquin Road Commercial Corridor was the subject of an extensive market study in 2015 by Gruen Gruen + Associates and one of its key findings suggested:

- The high speed and level of traffic on East Algonquin Road is such that the study area offers only a limited “billboard” effect for those driving by properties that in some cases are not well placed and not readily visible to drivers. Given this constraint and the prevalence of poorly located and configured commercial uses with limited visibility to East Algonquin Road, *consider flexibility on signage standards, especially if such flexibility is taken in conjunction with actions by property owners to make physical or tenanting enhancements to their properties*

(page 8 - https://www.algonquin.org/egov/documents/1440079594_83831.pdf)

Parking Lot / Landscaping – Another significant improvement to the site that Staff requested and the owner is willing to undertake at this time, is a comprehensive reconfiguration of the parking lot to provide improved circulation and aesthetic appeal. The main access into the site – located between Chase Bank and Chubby’s – will be extended to create a more formal boulevard-type entrance with landscaping. The existing curbed median that currently requires inbound vehicles to immediately turn left or right about entering the site will be removed. A pedestrian connection to the existing sidewalk on Algonquin Road / Route 62 will also be added at the southwest corner of the site.

The long one-way diagonal parking rows will be replaced with two-way aisles and straight-in parking stalls with landscape medians to better establish defined rows of parking. Additional noteworthy improvements include re-paving and striping of the parking lot, new lighting fixtures and the planting of dozens of new trees, shrubs and flowers. Staff believes this enhanced landscaping combined with the improved circulation design will help create a more pleasant environment that new business tenants and shoppers will appreciate.

General Comments – On the topic of re-tenanting the shopping center, it is important to note the new owner purchased the property just this past fall and has decided to undertake these physical improvements to the commercial building and overall site as their first priority. Staff has encouraged the development team to keep the Village apprised of potential new stores and businesses that are being recruited, and Community Development has also reached out to the new real estate broker for the property to provide any assistance Staff may be able to lend in terms of demographic and retail data for the East Algonquin Road corridor.

The proposed improvements outlined above represent a significant and voluntary commitment from the new owner to begin transforming the Algonquin Town Center into a desirable commercial property once again. Staff has asked the development team to consider the more technical engineering revisions that have been called out by the Village Engineer and Public Works, to determine the feasibility of incorporating additional site repairs and improvements.

Planning and Zoning Recommendation

On March 12, 2018 the Planning and Zoning Commission considered the petition and unanimously recommended approval (7-0) of the request for Final PUD Amendment, subject to the conditions listed by staff, the addition of landscaping at the rear of the property and a recommendation that the shopping center tenants set reasonable hours for truck deliveries.

Recommendation

Staff concurs with the Planning and Zoning Commission and recommends approval of the Final Planned Unit Development Amendment with the following conditions:

1. That site construction shall not commence until a site development permit has been issued by the Village.

2. The Site Plan as prepared by Maemar P.C. with a latest revision date of January 30, 2018 shall be revised to incorporate comments from the February 15, 2018 Christopher Burke memo, the February 20, 2018 Public Works memo and the March 1, 2018 Police Department memo.
3. The Engineering Plan as prepared by Haeger Engineering with a latest revision date of December 16, 2017 shall be revised to incorporate comments from the February 15, 2018 Christopher Burke memo, the February 20, 2018 Public Works memo and the March 1, 2018 Police Department memo.
4. The Photometric Plan as prepared by Maemar P.C. with a latest revision date of January 11, 2018 shall be revised to incorporate comments from the February 15, 2018 Christopher Burke memo and February 20, 2018 Public Works memo. The parking lot light fixtures shall meet village standards of metal halide or LED lights, the lens flush with the housing, flat black poles and fixtures, and no exposed bulbs. All wall-mounted lights on the building shall be shielded and downcast with the housing covering the lumens.
5. The Landscape Plan as prepared by Maemar P.C. with a latest revision date of January 30, 2018 shall be revised to incorporate comments from the February 15, 2018 Christopher Burke memo and February 20, 2018 Public Works memo. The developer shall address the Planning and Zoning Commission's recommendation for adding increased landscaping at the rear of the property.
6. The building façade redesign shall be constructed consistent with the architectural elevations prepared by Maemar P.C. with a latest revision date of January 11, 2018. The brick and mortar may not be painted at any point in the future. All roof mounted mechanical/electrical equipment shall be fully screened.
7. The storefront wall signs shall be consistent with the common sign plan details depicted on the architectural elevations sheet SN1 prepared by Maemar P.C. with a latest revision date of January 11, 2018. Individual business tenants shall be required to submit sign drawings for review and permitting by the Community Development Department.
8. The existing pylon sign shall be removed no later than May 1, 2023.
9. Provided the existing pylon sign is removed by the May 1, 2023 deadline, two (2) monument signs with three (3) tenant panels each shall be allowed to be constructed, consistent with the details depicted on the architectural elevations sheet SN1 prepared by Maemar P.C. with a latest revision date of January 11, 2018. The property owner shall be required to obtain a sign permit from the Community Development Department prior to constructing the new monument signs.

10. The Village shall have the ability to limit and enforce set hours for truck deliveries to the shopping center, should delivery hours become unreasonable and a nuisance to the adjacent residential neighbors.

Enclosures

P&Z Minutes

Review Memos

Plan Submittal

**VILLAGE OF ALGONQUIN
PLANNING AND ZONING COMMISSION
Meeting Minutes
William J. Ganek Municipal Center-Board Room
March 12, 2018
7:30 p.m.**

AGENDA ITEM 1: Roll Call to Establish a Quorum
Present: Chairperson Patrician, Commissioners Hoferle, Szpekowski, Postelnick, Laipert, Neuhalfen, and Sturznickel.

Absent: None

Staff Members Present: Ben Mason, Senior Planner, and Kelly Cahill, Village Attorney.

AGENDA ITEM 2: Approval of Minutes from the December 11, 2017 Meeting.
A motion by Commissioner Neuhalfen to approve the December 11, 2017 minutes as presented was seconded by Commissioner Hoferle and a voice vote noted all ayes. The motion carried.

AGENDA ITEM 3: Public Comment
There was no one wishing to make any public comment.

AGENDA ITEM 4: Request for an amended Final PUD
Case No. 2018-02 Algonquin Town Center PUD Amendment
Petitioner: Mehran Farahmandpour, Project Architect

OPEN PUBLIC HEARING AND ESTABLISH QUORUM

Mr. Mason called roll to verify a quorum. Present: Commissioners Hoferle, Szpekowski, Postelnick, Laipert, Neuhalfen, Sturznickel and Chairperson Patrician. Mason announced a quorum was present. Chairperson Patrician opened the public hearing and asked for petitioner comments.

PETITIONER COMMENTS

Ms. Cahill verified that proper notice of the meeting had been posted. Ms. Cahill swore in the petitioners. Representing the petitioner was Mehran Farahmandpour, Maemar P.C., project architect. Farahmandpour gave an overview of the physical improvements the new owner of Algonquin Town Center is proposing, including enhancements to the building façade, signage, parking lot, lighting and landscaping.

Chairperson Patrician then asked for Staff Comments.

STAFF COMMENTS

Mason reviewed his staff report for the Commission. The petition is considered a Major Amendment to the original PUD for the Algonquin Town Center from 1988. The shopping center was recently purchased by a new developer last fall. The new owner and project architect have been very cooperative working with Staff to expand the scope of their site improvements to include updates to the parking lot and landscaping. One particular item of note is the petitioner's request for two ground signs, each with three tenant panels. Per the Sign Code the shopping center would be allowed by right only one ground sign with

two tenant panels though Staff noted flexibility for signage standards was recommended in the 2015 Gruen Gruen + Associates market study when property owners in the East Algonquin Road corridor make significant physical improvements to their site. The new owner has agreed to remove the non-conforming pylon sign within five years, before any permits would be issued for new ground signs.

COMMISSION QUESTIONS/COMMENTS

Chairperson Patrician inquired if there were any Commissioner questions or comments.

Commissioner Hoferle asked if the existing pylon would be freshened up, to which the project architect stated only basic maintenance and possibly a fresh coat of paint to match the color of the new building elevations. Hoferle asked if there are any new business tenants, to which the architect stated not yet.

Commissioner Szpekowski asked about wall sign standards for the business tenants, to which the architect explained the shopping center will establish uniform standards for size and style but will allow for national tenants such as Subway to use their corporate logo or colors.

Commissioner Postelnick asked when the construction will start, to which the architect explained they hope to begin this spring and complete the project by the end of the year.

Commissioner Laipert asked if upgrades to the HVAC units within the tenant spaces will be made, to which the architect stated the property owner will determine any necessary improvements on a case-by-case basis.

Commissioner Sturznickel asked if the right-in / right-out entrance on Algonquin Road at the southwest corner of the site will remain, to which Staff confirmed yes all existing access points will remain the same.

Chairperson Patrician made the observation that the design of the new building elevations looked too contemporary given the site's proximity to the Village's historic downtown, to which he explained it was simply a personal opinion that traditional brick and masonry materials be used. The project architect clarified much of the proposed new materials are in fact masonry, such as the manufactured white tile for the columns in front of the stores, and that the new owner's intent is to make the center look fresh and appealing.

PUBLIC COMMENT

Chairperson Patrician called twice for public comments.

Kathie DeLude, 1521 Cumberland Parkway, expressed concern about: traffic flow through the shopping center and adjacent properties; lack of landscaping at the rear of the shopping center's property; delivery hours; security; and the financial background of the new owner. Mr. Farahmandpour explained the new owner of the property has had success with several million square feet of retail and commercial office space developments. Mr. Mason noted additional landscaping was called out in the Public Works review memorandum and Staff will be meeting with the architect to discuss areas where new landscaping should be incorporated on site. Mason also stated the new owner of the center will be improving the parking lot configuration and pavement surface within the boundaries of the shopping center itself, but does not control adjacent properties nor the private frontage road that extends east to Ryan Parkway. Mason noted it will be up to the owner to determine whether they believe it is necessary to add security cameras. Mason

confirmed the village does have required construction hours contractors must follow, and that it would be up to the Planning and Zoning Commission whether to decide to add a recommendation to limit delivery hours.

Mark Burns, 441 Golf Lane, stated he believes the shopping center will have a difficult time attracting new tenants and that there are too many retail vacancies throughout the East Algonquin Road corridor and the Village should stop issuing new building permits.

COMMISSION MOTION ON PETITION

Chairperson Patrician entertained a motion to approve the request for an amendment to the Final PUD for Algonquin Town Center. Commissioner Hoferle moved and Commissioner Sturznickel seconded a motion to recommend approval of the request consistent with the findings of fact listed in the March 12, 2018 Community Development memorandum, the conditions recommended by staff, and additional recommendations that increased landscaping be incorporated along the rear property line and the shopping center tenants set reasonable hours for truck deliveries.

The Roll Call noted the following: Ayes: Commissioners Laipert, Neuhalfen, Szpekowski, Postelnick, Sturznickel, Hoferle and Chairperson Patrician. Nays: None. Absent: None. Motion carried 7-0.

AGENDA ITEM 5: New/Old Business

Chairperson Patrician informed the commission he is running for a seat on the Kane County Board, and if elected will have to step down from the Planning and Zoning Commission.

AGENDA ITEM 6: Adjournment

A motion to adjourn the meeting was made by Commissioner Neuhalfen and seconded by Commissioner Szpekowski, a voice vote noted all ayes. The motion carried and the meeting was adjourned at 8:40p.m.

Respectfully Submitted,

Benjamin A. Mason, AICP
Senior Planner



CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 West Higgins Road Suite 600 Rosemont, Illinois 60018 TEL (847) 823-0500 FAX (847) 823-0520

February 15, 2018

Village of Algonquin
2200 Harnish Drive
Algonquin, IL 60102

Attention: Ben Mason, Senior Planner

Subject: Algonquin Town Center – FIRST REVIEW
Algonquin Case No. 2018-02
(CBBEL Project No. 070272.00109)

Dear Ben:

We have reviewed the following documents related to this project:

- Architectural Plans prepared by Maemer, PC bearing a revision date of January 30, 2018
- Proposed Parking Lot Reconstruction Plan prepared by Haeger Engineering bearing a revision date of January 15, 2018
- Various LSI Lighting Catalog Cuts
- Village of Algonquin Development Application dated February 7, 2018

It is our understanding that this project will be presented to the Plan Commission in March of 2018. The following comments need to be addressed before Christopher B. Burke Engineering, Ltd. can recommend acceptance of final engineering to the Village:

ARCHITECTURAL PLANS

Sheet S1

1. The existing conditions information on the plan sheet is based on an ALTA/ACSM Land Title Survey from 2003. The information does not reflect the Goodwill Industries building addition of 2014. An updated plat of survey should be provided and the improvement plans revised to reflect the same information. We note that the Site Plan on sheet T-1 seems to include this information, but the Parking Lot Reconstruction Plan does not. We also note that Haeger Engineering was the engineer for the building addition (typical for this sheet and the Parking Lot Reconstruction Plan).

Sheet PH

2. It is not clear on the plan sheet if the light poles listed are existing, existing & relocated, or proposed.
3. The locations of the light poles do not match the locations noted on the Parking Lot Reconstruction Plan. The two documents shall be coordinated and revised as required.
4. We note that are several areas in which there is no lighting proposed. These areas include the main entrance drive and the rear of the building. The entire site should be uniformly illuminated. If the rear of the building is illuminated by building-mounted fixtures, then they should be added to the photometric plan to verify that proper security lighting is present.
5. In the General Photometric Schedule there is no proposed uniformity ratio. The proposed schedule is skewed by including the proposed 0.0 fc at the rear/north side of the lot. Please provide uniform illumination levels throughout the site. This ratio should be an Avg./Min. uniformity ratio of a maximum of 20:1 throughout the site per IESNA standards for parking lots.
6. There are proposed parking spaces along the west side of the building with no proposed lighting. Please provide lighting in this area.
7. There are 2 locations within the site that have tree canopies in conflict with proposed lights. The first one is in the island directly west of the Chase Bank and the second one is in the northerly main drive aisle in the 3rd island from the west. Please revise Photometric Plan or Landscape Plan accordingly.
8. The applicant shall submit a Site Electrical Plan showing conduit and wiring types, conduit routing, and foundation details with project specific pole details (to verify that all luminaires have been calculated at the correct elevation).
9. The light pole locations should be shown on the Parking Lot Reconstruction Plan to verify that there are no conflicts with proposed or existing utilities.

PARKING LOT RECONSTRUCTION PLAN

10. There are no existing or proposed pavement and curb elevations on the plan sheet. The new sidewalk and curb requires this information to ensure that handicapped accessibility is provided. The milled and resurfaced pavement will need to be checked for drainage as the location of the proposed islands may impact flow to the existing structures and/or point out the need for adjustment to the existing structures or the need to provide additional ones.

11. Google Earth images indicate that the common entrance road from Algonquin Road is in a state of disrepair as bad as the parking lot that is to be rehabilitated. We recommend that this roadway be added to the proposed scope of work if possible; acknowledging that the pavement may share common ownership with Lots 2 and 3.
12. The configuration of the new landscape islands requires the relocation of two existing fire hydrants which are not depicted on the plan sheet. The relocated hydrants will be located farther away from the building face. The engineer shall verify with the applicable fire protection agency if the separation is acceptable as we do not know where the fire department connection for the building is located.
13. The pavement removal and replacement areas for the four (4) existing parking lot light pole relocations are missing from the plan sheet.
14. Standard details for the proposed sidewalk, curb & gutter, pavement removal & replacement, pavement milling & overlay, and light pole foundation shall be added to the plan sheet.
15. The standard details and specifications for the required SESC measures shall be added to the plan sheet or on a separate sheet.
16. The locations and number of the light poles do not match the locations noted on the Architectural Plan sheet PH. The two documents shall be coordinated and revised as required.

STORMWATER COMMENTS

17. Per the information provided on the Architectural Plan sheet T1, 428 SF of additional impervious surface will be created by this project. However, that does not mean that there is only 428 SF of **development** proposed. Existing parking lot islands are being removed and replaced with new islands and portions of the existing parking lot are being replaced along the building face with curb & gutter and sidewalk. We note that 1694 SF (14,675-12,981) of new pervious surface is to be created and the Goodwill Industries building expansion in 2014 included approximately 12,450 SF of development that did not provide detention storage. The engineer shall provide the following information on the plan sheet so we can determine if the aggregate threshold requiring additional detention storage has been breached:

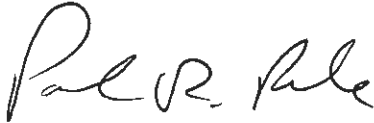
ITEM	AREA (SF)
2014 DEVELOPMENT AREA UNCOMPENSATED FOR	12,450
AREA OF DEVELOPMENT FOR CONVERSION OF PAVEMENT TO SIDEWALK AND CURB & GUTTER	<i>TO BE DETERMINED</i>
DEDUCTION FOR INCREASED PERVIOUS SURFACE	<1,694>
AGGREGATE TOTAL OF DEVELOPMENT	

We will not consider the removal and replacement of the existing islands as development since there is more pervious surface being created. The milling and overlay of the pavement is not considered development under the Kane County Stormwater Ordinance as there is no increase in impervious surface & peak flow, and the location of the site Stormwater discharge is not changed.

GENERAL COMMENTS

18. The engineer shall provide an estimate of cost for the public and private site improvements (concrete, pavement, and lighting) for the calculation of the required escrow and security fees.

Sincerely,

A handwritten signature in black ink, appearing to read "Paul R. Bourke".

Paul R. Bourke, PE CFM CPMSM
Assistant Head, Municipal Department

A handwritten signature in green ink, appearing to read "Michael E. Kerr".

Michael E. Kerr, PE
Executive Vice President



VILLAGE OF ALGONQUIN

PUBLIC WORKS DEPARTMENT

– M E M O R A N D U M –

DATE: *Tuesday, February 20, 2018*
TO: *Ben Mason*
FROM: *Shawn M. Hurtig*
SUBJECT: *Public Works Review # 1 – Alg Towne Center 2018 Parking Lot Resurface*

Please find below the Village of Algonquin comments, concerns, and issues regarding the subject project.

General Review Comments:

1. Is there a reason why the resurfacing and landscape enhancements do not include the main entry roadway (just East of Lot 1)???
- 2.

Plan Review Comments:

<u>PAGE</u>	<u>ISSUE</u>
-------------	--------------

Misc.	Please note that the resurfacing limits indicated on the plans, show work within the Illinois Dept of Transportation (IDOT) Right of Way (ROW) at the Right in Right out (RIRO) in the SW corner of project. As such, this project will require an IDOT permit review.
Misc.	If the resurfacing work is to take place on the RIRO in the SW corner of the site, it is a requirement that the sidewalk curb ramps at this crossing be brought up to ADA compliance.
Misc.	All frames and grates located in the asphalt parking lot shall be protected and follow the Village special provision for “Structure to be Adjusted, Special” (attached). This standard includes but is not limited to the use of a flexible ring, and installation of a chimney seal.
Misc	Please find attached the Village of Algonquin (VoA) structure review sheet. This lists the deficiencies found and remedies required during inspection of the structures that fall within the construction zone. The corresponding utility atlas is attached
Misc.	Should the relocation of the hydrants fall outside of the Village utility easement, it is necessary that a new plat of easement be created to indicate the adjusted easement location.
Misc.	Relocation of the hydrants must include both hydrant and associated auxiliary valve. Please add a note to the plans indicating such, as well as that relocation will require a shut down that must be approved and conducted by the Village of Algonquin. Relocation work shall fall under the Dry Connection special provision of the Village.

Misc.	Add note to plan set that all solid lids shall be free of asphalt and oil and have pick-holes cleared.
Misc	Add note to plan set that all catch basins shall be thoroughly cleaned at the conclusion of the paving
Misc.	It is highly recommended that all bollards be removed and replaced, as existing are in deplorable condition
Misc	It is highly recommended that a curb be installed along the rear of the property for drainage and grading.
LP	The planting plan must follow the Village rule for diversity of plantings. There shall be no more than 20% of any Genus (for example Maple), & no more than 10% of any Species (Sugar Maple). For example if you have 10 trees to be planted 2 of them can be Maples, but only 1 can be a Sugar Maple.
LP	The Village highly recommends the use of the Village approved tree list for selection of species to plant. The tree list can be found at https://www.algonquin.org/egov/documents/1490967146_24991.pdf
LP	All proposed islands shall include a tree and accent plantings (many of the islands along the front of the building do not indicate any plantings).
LP	The rear of site is lacking screening (appears some recent removals where conducted). Reinstall screening plants and add tree and shrub plantings to the large green space in the rear NW corner of the building as well as is in the oval island at the rear of the building.
LP	Add diversity to the shrub plantings of each island. Coming up with a variety of at least 4 typical conditions would be sufficient. One may contain shrubs, with the others possibly containing perennial ornamental grasses, perennial flowers, or perennial ground cover.
LP	The Village is requesting the addition of colored perennial flowers to be added to the monument signs
Cc:	Project File (listed in footer)
Attachments:	None



Village Of Algonquin Police Department

~MEMORANDUM~



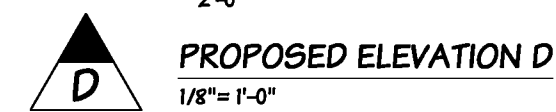
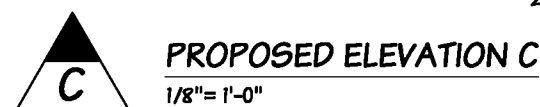
DATE March 1, 2018
TO Ben Mason, Senior Planner
FROM Sergeant Robert Salazar
SUBJECT Case No. 2018-02 Algonquin Town Center

The plans for Town Center have been reviewed and there are no objections to the plans that have been submitted to the police department. It is recommended that a three-way stop intersection be implemented at the main entrance of the development. In bound traffic from Rt. 62 should not have a stop sign, but the remaining three corners (east and west bound access road and traffic exited south towards the Rt. 62 traffic light) be controlled with the suggested signs.

As a reminder, the handicap parking fine should be displayed as \$500 and not \$100 to conform with the Village of Algonquin parking ordinance.

[Email](#)

[Print Form](#)



ALGONQUIN TOWN CENTER
1310 E. ALGONQUIN RD., ALGONQUIN, IL. 60192

MAEMAR P.C.
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3996 ORCHARD LANE
LONG GROVE, IL 60047
PHONE : (847) 550-9805
FAX : (847) 550-9815
www.maemarpc.com

SHEET

A

PROPOSED ELEVATIONS

DATE: 01/11/18

ISSUED FOR: REVIEW

SCALE: AS INDICATED

REV. DATE:

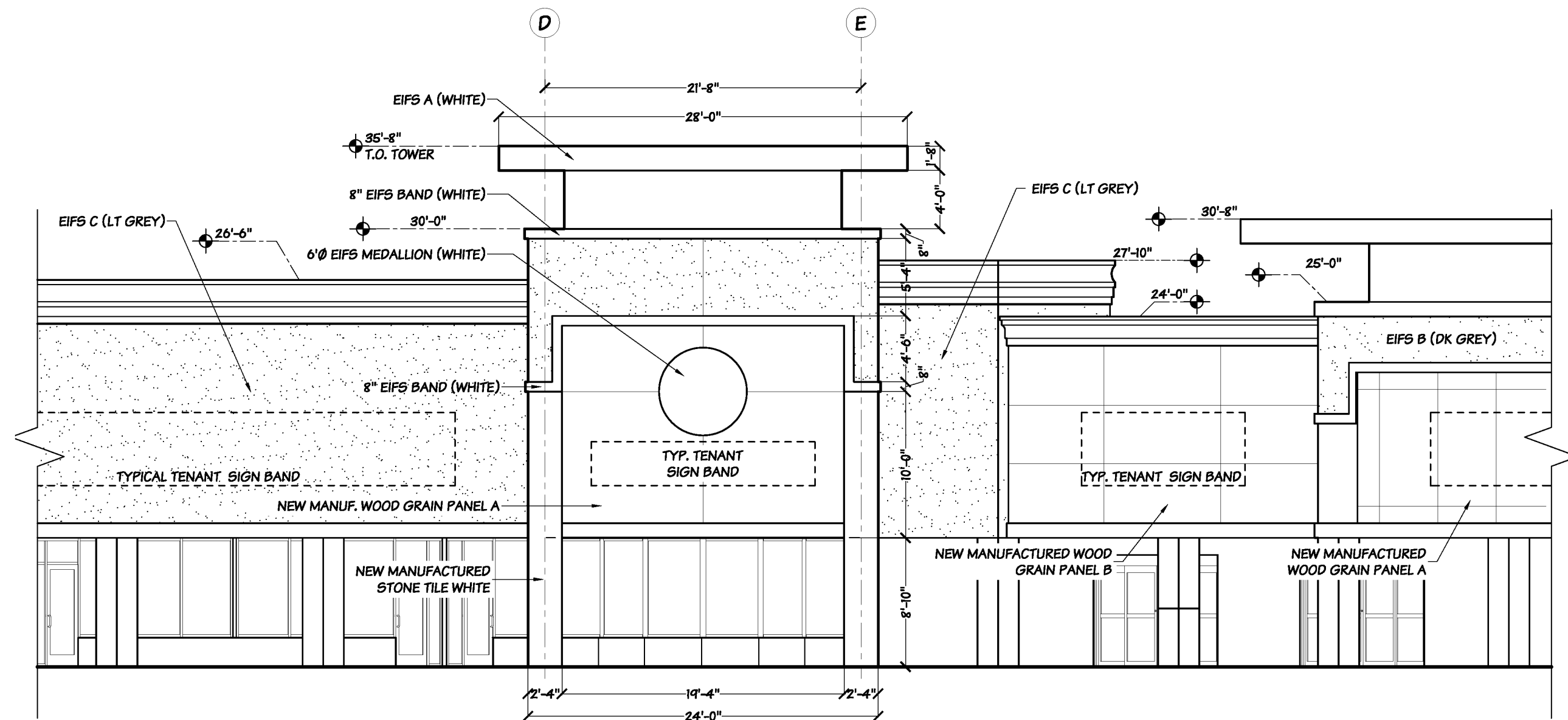
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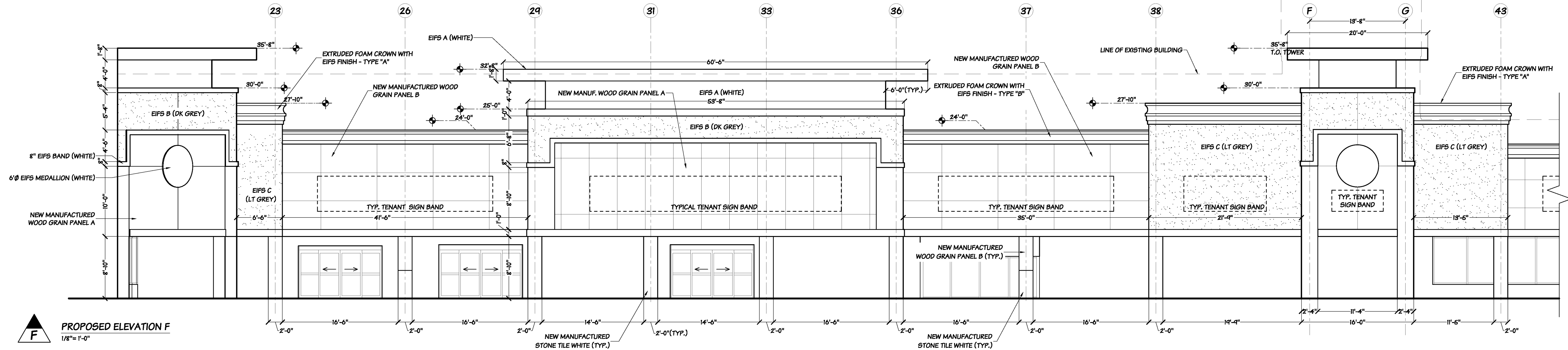
copyright © MAEMAR PC 2018

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HAVE BEEN PREPARED UNDER MY DIRECT
SUPERVISION AND THAT TO THE BEST OF MY
KNOWLEDGE & BELIEF THEY MEET THE REQUIREMENTS
OF ADA AND VILLAGE OF ALCONQUIN BUILDING CODE.

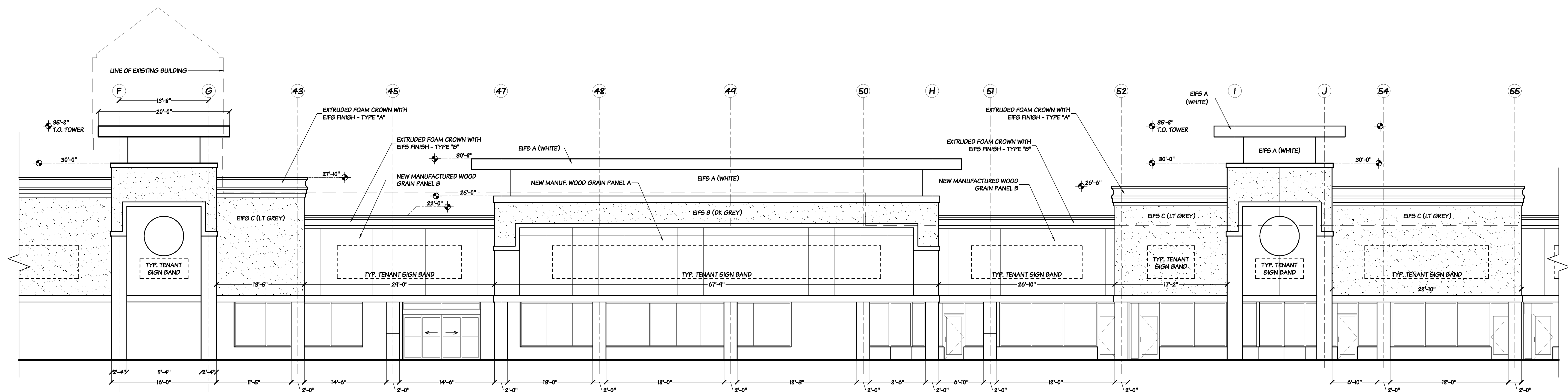
MEHRAN FARAHMANDPOUR
 LICENSE # 001-011719 EXP. 11/30/2018



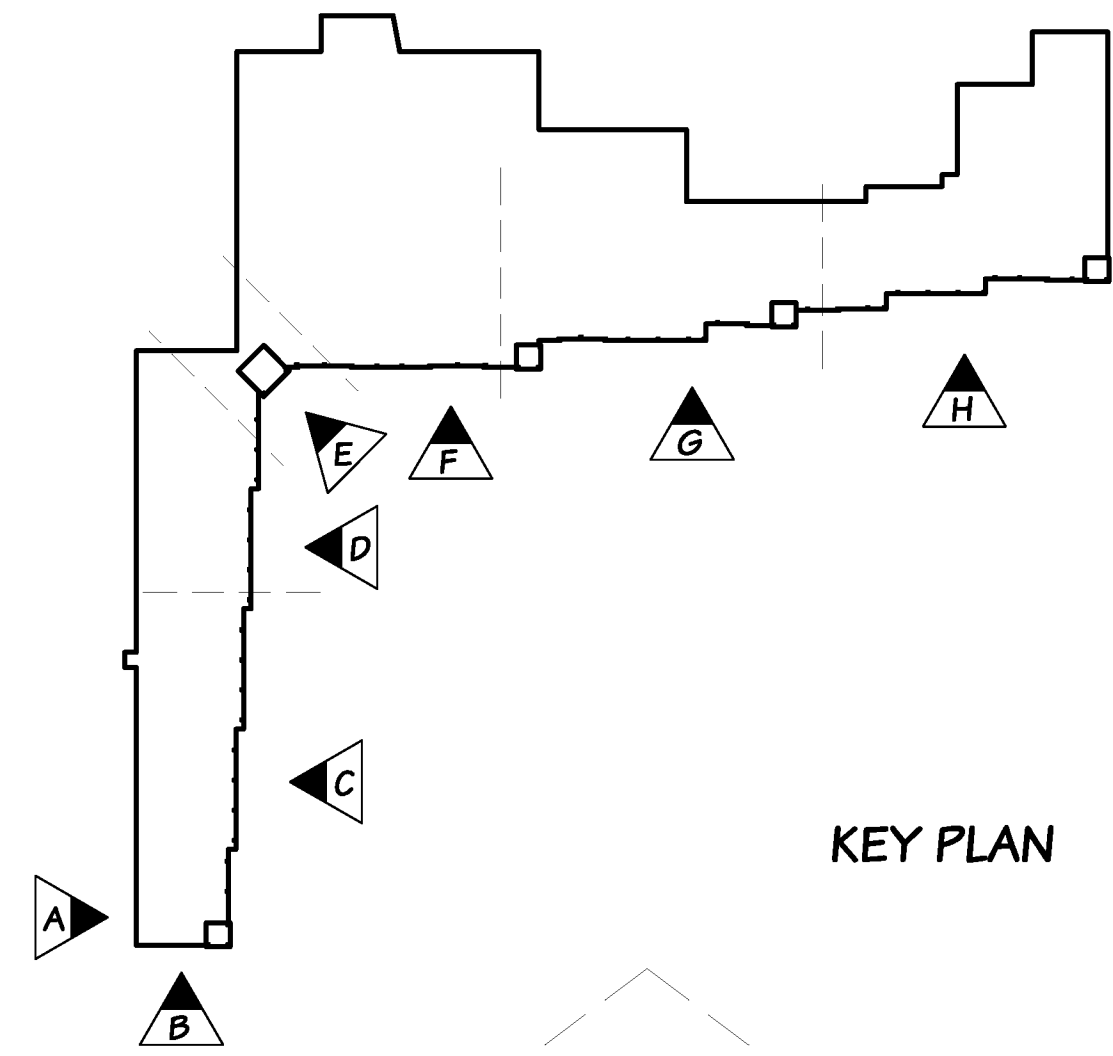
E PROPOSED ELEVATION E
1/8" = 1'-0"



F PROPOSED ELEVATION F
1/8" = 1'-0"



G PROPOSED ELEVATION G
1/8" = 1'-0"



KEY PLAN

ALGONQUIN TOWN CENTER
1310 E. ALGONQUIN RD., ALGONQUIN, IL. 60192

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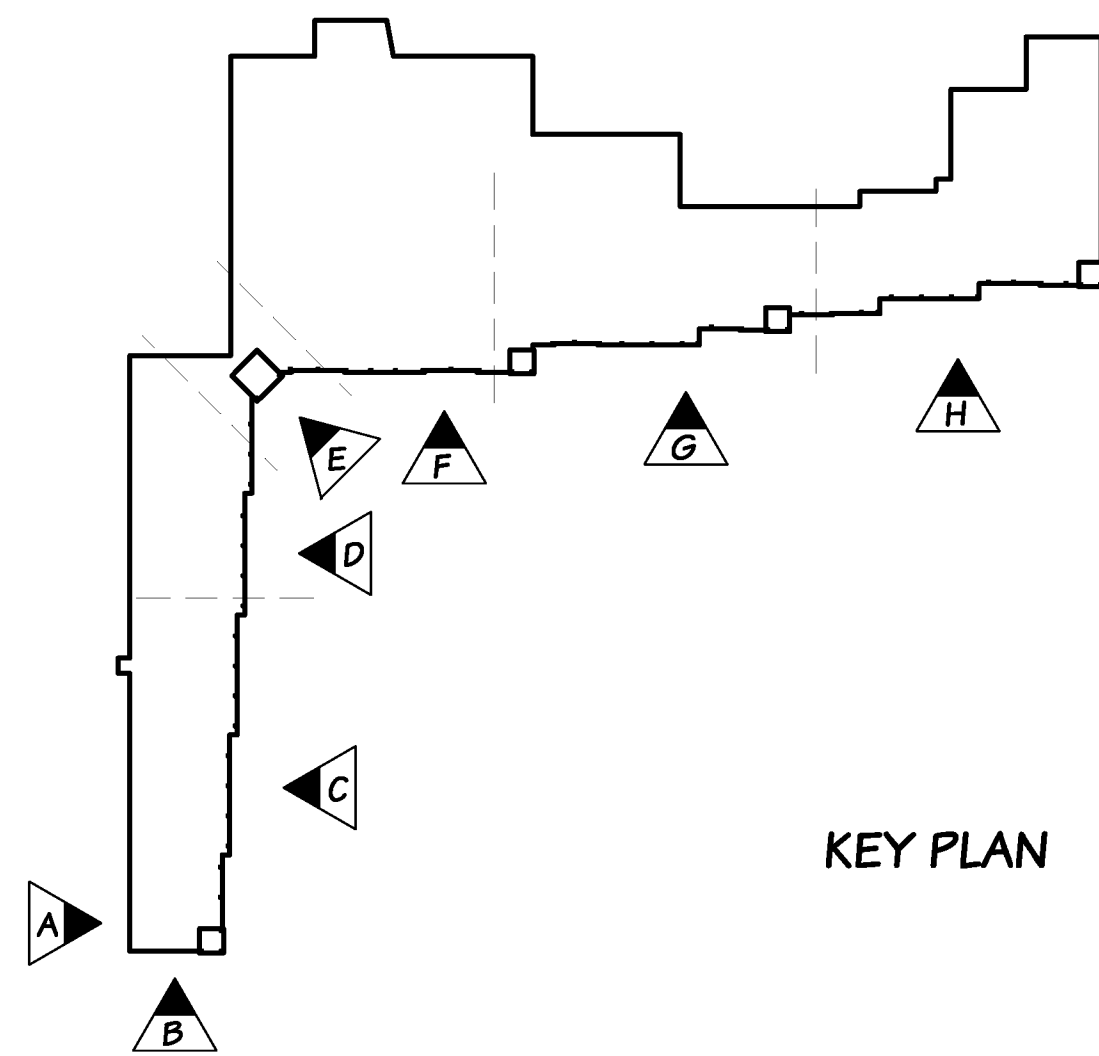
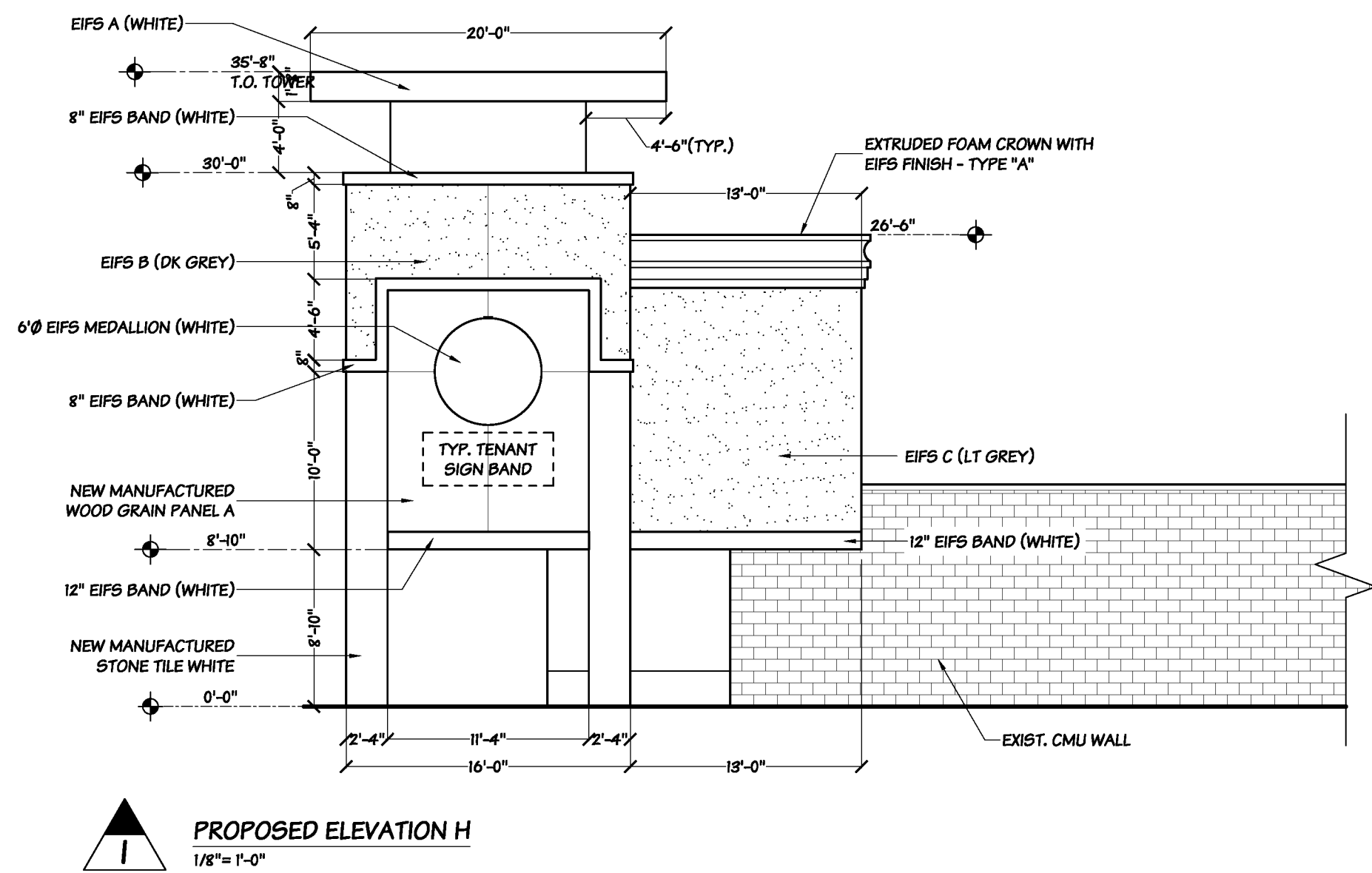
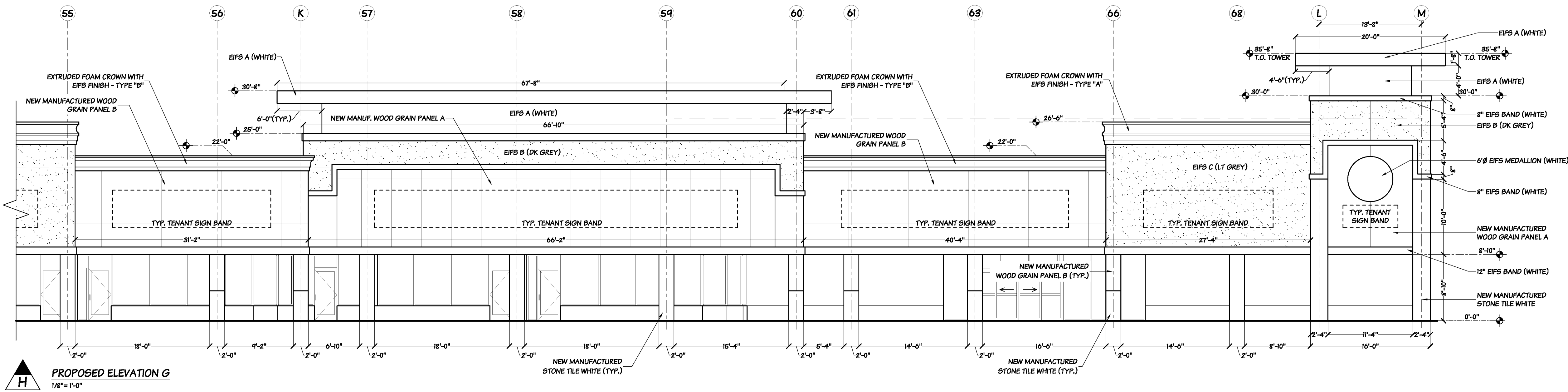
3995 ORCHARD LANE
LONG GROVE, IL 60047
PHONE : (847) 550-9805
FAX : (847) 550-9815
WWW.MAEMARP.C.COM

REV. DATE:	REV. DATE:
ISSUED FOR REVIEW	ISSUED FOR REVIEW
SCALE AS INDICATED	SCALE AS INDICATED
PROJECT # : 1712	PROJECT # : 1712

SHEET TITLE
PROPOSED ELEVATIONS

SHEET #
A5

MECHAN FAKHMAN/OPDUR
LICENSE # 03-01178 EXP. 11/30/2018



EIFS	11,238 SF (57%)
MANUFACTURED WOOD GRAIN PANEL A	3,513 SF (18%)
MANUFACTURED WOOD GRAIN PANEL B	3,682 SF (19%)
MANUFACTURED STONE TILE WHITE	1,194 SF (6%)
TOTAL	19,627 SF (100%)

ALGONQUIN TOWN CENTER
1310 E. ALGONQUIN RD., ALGONQUIN, IL. 60192

SHEET TITLE

PROPOSED ELEVATIONS

SHEET #

A6

DATE: 01/11/18

ISSUED FOR: REVIEW

SCALE: AS INDICATED

PROJECT #: 1712

REV. DATE:

REV. DATE:

REV. DATE:

REV. DATE:

CS2/08/18 © MAEMAR PC 2018

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OF ADA AND VILLAGE OF ALGONQUIN BUILDING CODE.

MEHRIAN FARAHMANDPOUR

LICENSE # 03-011118 EXP. 11/30/2018

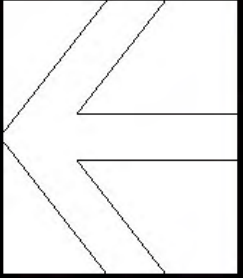
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PROPOSED ALGONQUIN TOWN CENTER



WEST VIEW - SOUTH CORNER



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MEIGUEN FAKHARA/DPUR

LICENSE # 08-00194 EXP. 11/30/2018

DATE: 01/11/18
ISSUED FOR: REVIEW
SCALE: AS INDICATED
PROJECT #: 1712

REV. DATE:
REV. DATE:
REV. DATE:
REV. DATE:

SHEET TITLE
3D VIEWS

SHEET #
R1

ALGONQUIN TOWN CENTER
1310 E. ALGONQUIN RD., ALGONQUIN, IL. 60192



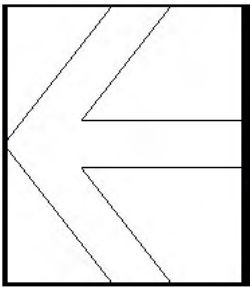
NORTH VIEW - WEST SIDE



NORTH VIEW - EAST SIDE



PROPOSED MONUMENT SIGN



3996 ORCHARD LANE
LONG GROVE, IL 60047
PHONE : (847) 650-9805
FAX : (847) 530-9815
WWW.MAEMARPC.COM

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MERICANT PAKARANPOUR

LICENSE # 03-00179 EXP. 11/30/2018

REV. DATE:	REV. DATE:
REV. DATE:	REV. DATE:
REV. DATE:	REV. DATE:
REV. DATE:	REV. DATE:

DATE: 01/11/18	ISSUED FOR: REVIEW
SCALE: AS INDICATED	PROJECT #: 1712

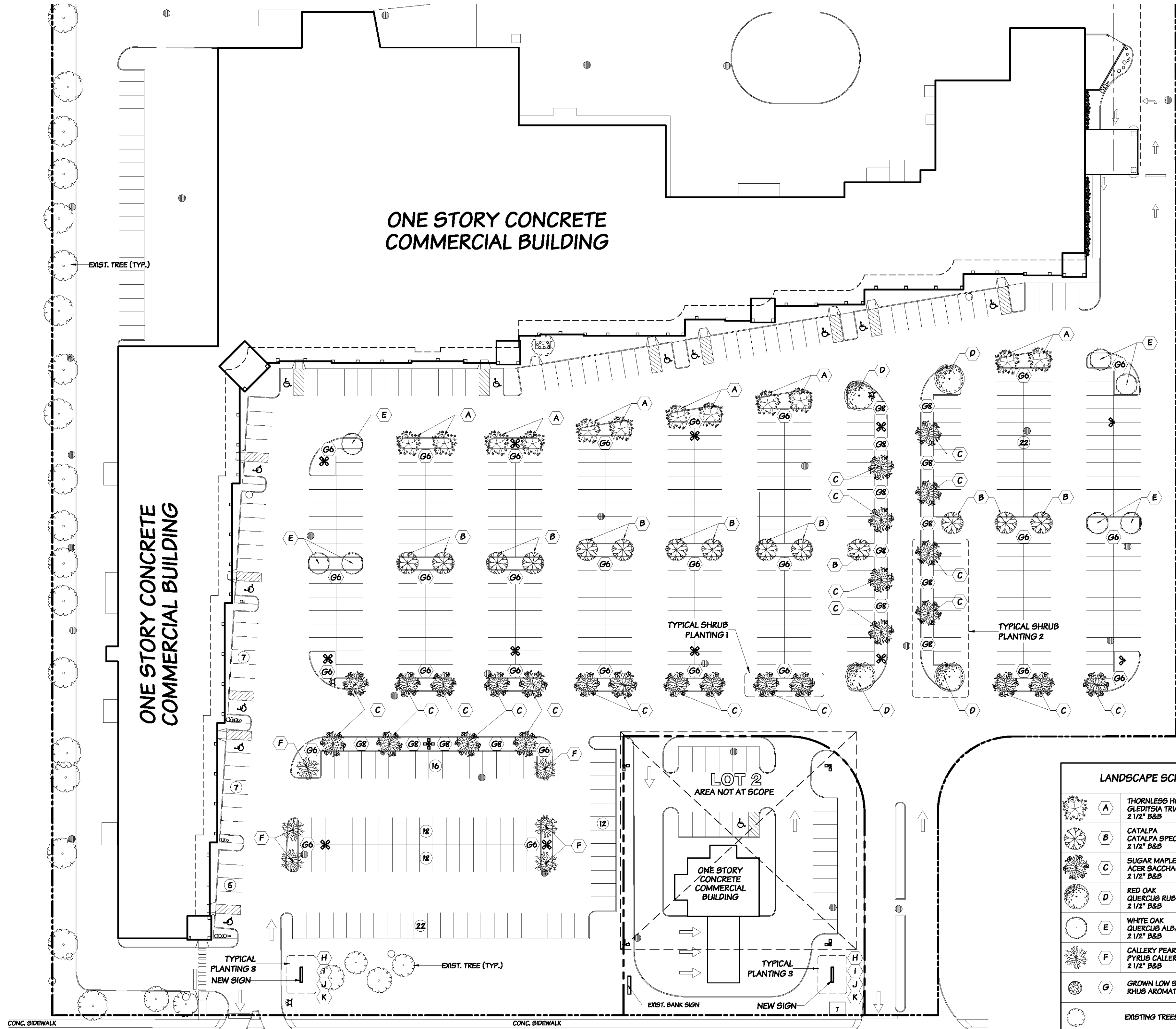
ALGONQUIN TOWN CENTER
1310 E. ALGONQUIN RD., ALGONQUIN, IL. 60192

SHEET TITLE

3D VIEWS

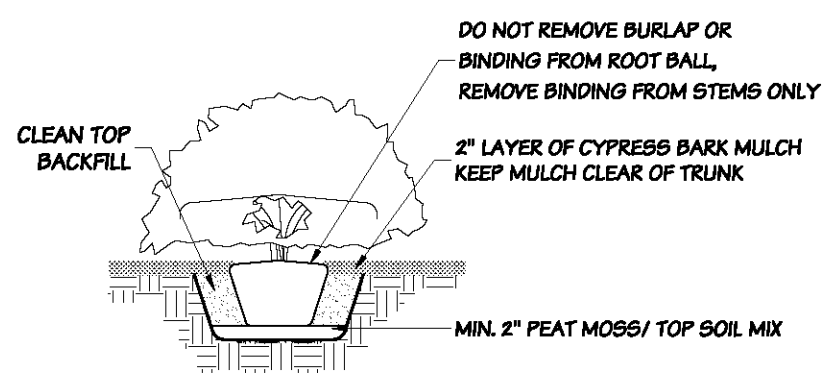
R2

SHEET #

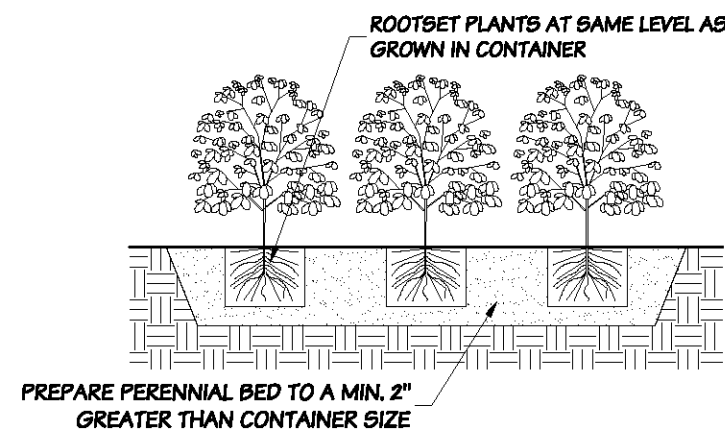


PROPOSED LANDSCAPE PLAN
NTS

E ALGONQUIN RD.



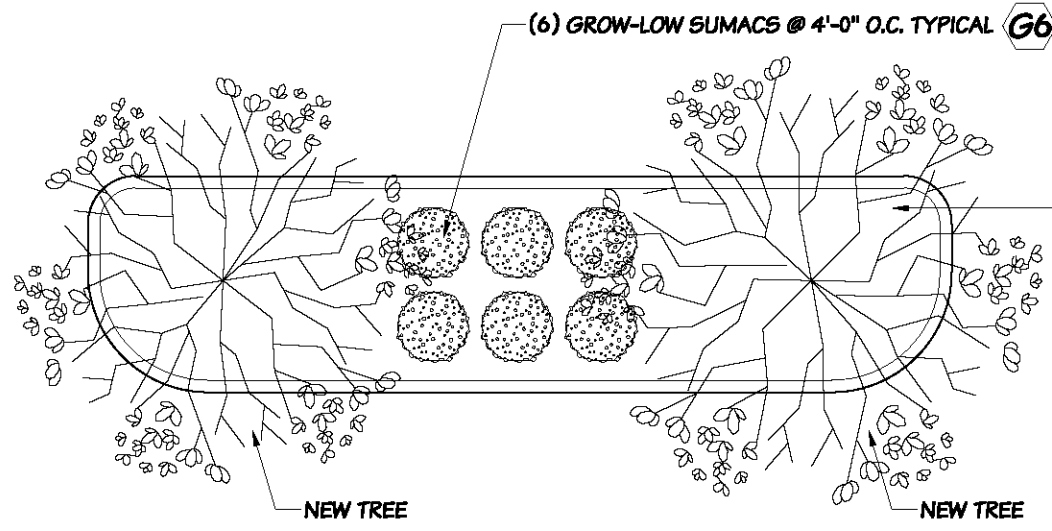
SHRUB PLANTING DETAIL
NTS



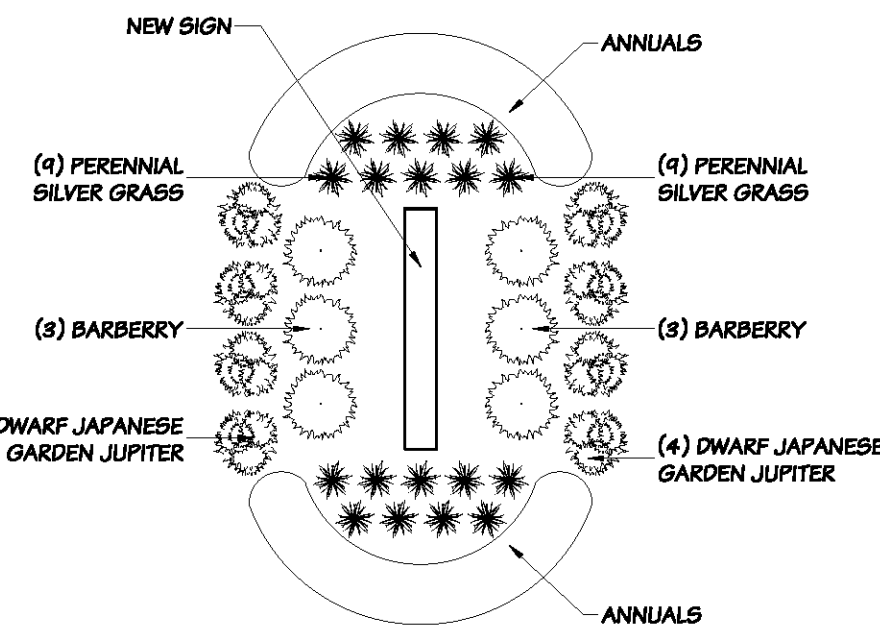
PERENNIAL PLANTING DETAIL
NTS

LANDSCAPE SCHEDULE			QTY
	A	THORNLESS HONEY LOCUST GLEHNSIA TRIACANTHOS INERMIS 2 1/2" B&B	(23)
	B	CATALPA CATALPA SPECIOSA 2 1/2" B&B	(16)
	C	SUGAR MAPLE ACER SACCHARUM 2 1/2" B&B	(20)
	D	RED OAK QUERCUS RUBRA 2 1/2" B&B	(4)
	E	WHITE OAK QUERCUS ALBA 2 1/2" B&B	(6)
	F	GALLERY PEAR PYRUS CALLERYANA 2 1/2" B&B	(4)
	G	GROWN LOW SUMAC RHUS AROMATICA 18" H.	(216)
EXISTING TREES TO REMAIN			
	H	BARBERY BARBERIS THUNBERGII	(12)
	I	DWARF JAPANESE GARDEN JUNIPER JUNIPERUS PROCEMBENS NANA	(16)
	J	PERENNIAL SILVER GRASS MISCANTHUS FLORIDULUS	(96)
	K	ANNUALS	(TBD)

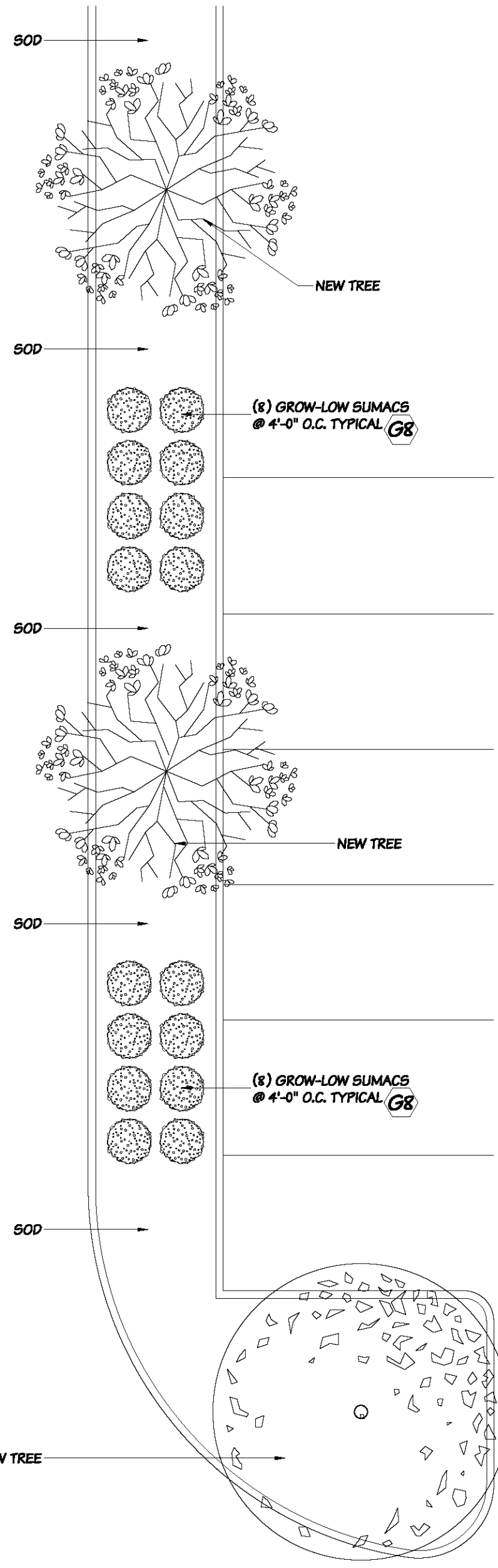
NOTE:
TEST FOR ADEQUATE DRAINAGE PRIOR TO INSTALLATION. NOTIFY
LANDSCAPE ARCHITECT OF ANY DRAINAGE CONCERNS.
DIG HOLE TO DEPTH OF ROOT BALL AND 2X ROOT BALL DIAMETER.
FILL W/MIX OF 1/3 BLACK DIRT, 1/3 MUSHROOM COMPOST & 1/3
SAND. WATER THOROUGHLY AFTER PLANTING.
ALL TURF AREAS TO BE SOD.



TYP. SHRUB PLANTING 1 @ ISLANDS
1/8"= 1'-0"



TYP. PLANTING 3 @ NEW SIGNS
1/8"= 1'-0"



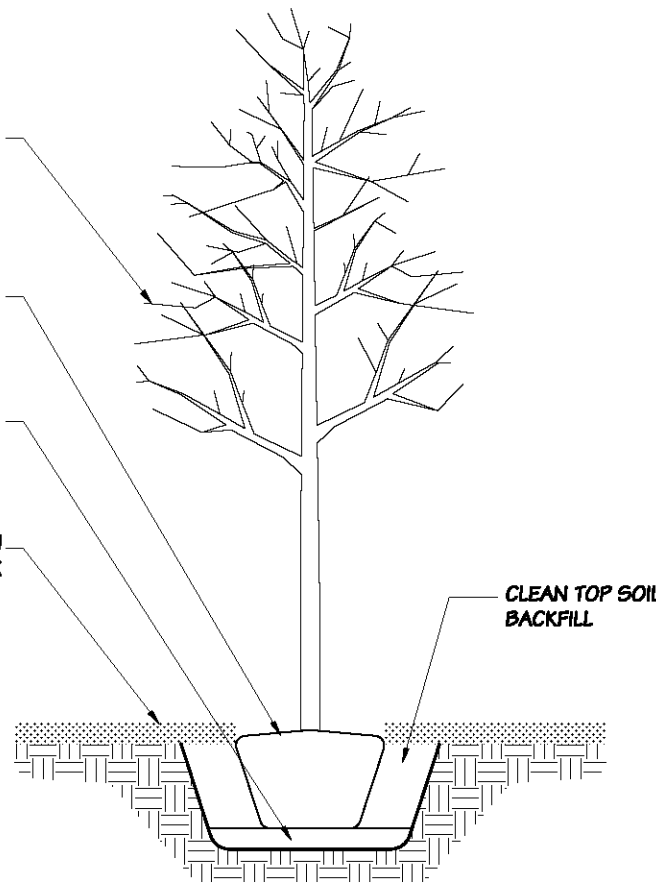
TYP. SHRUB PLANTING 2
1/8"= 1'-0"

REMOVE ENOUGH WHOLE BRANCHES, NOT
JUST END TIPS, TO REDUCE FOLIAGE BY A
THIRD. DO NOT LEAVE "Y" CROTCHES OR
DOUBLE LEADERS. ALL PRUNING IS TO BE
DONE AFTER PLANTING, RETAINING NORMAL
PLANT FORM

DO NOT REMOVE BURLAP OR BINDING
FROM ROOT BALL REMOVE CORP AND
BINDING FROM TRUNK ONLY

MIN. 2" PEAT MOSS/ TOPSOIL MIX

2" LAYER OF CYPRESS BARK MULCH
KEEP MULCH CLEAR OF TREE TRUNK



TREE PLANTING DETAIL
NTS

ALGONQUIN TOWN CENTER
1310 E. ALGONQUIN RD., ALGONQUIN, IL. 60192

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SHEET #

PROPOSED LANDSCAPE PLAN

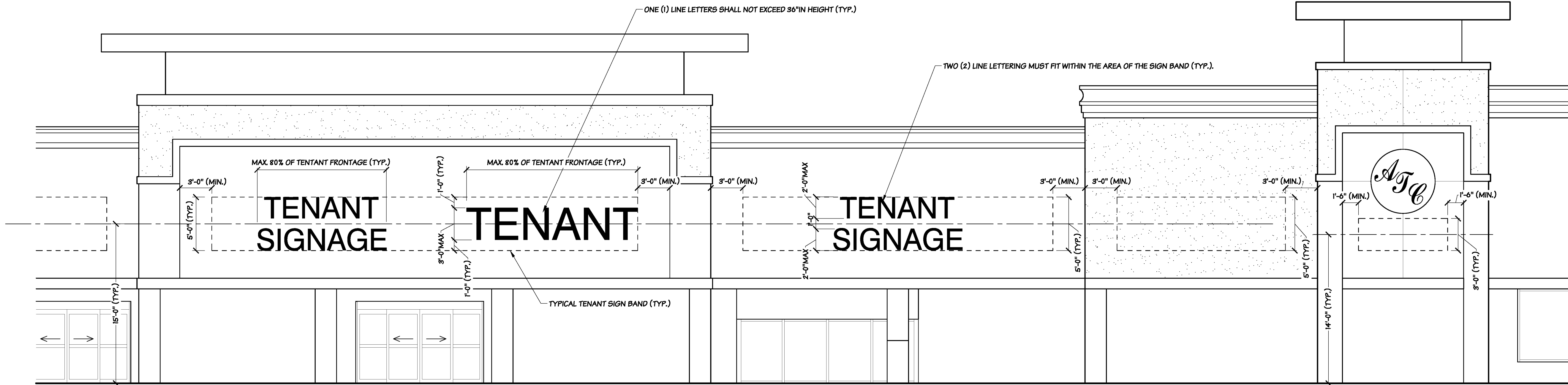
DATE: 01/30/18
ISSUED FOR: REVIEW
SCALE: AS INDICATED
PROJECT#: 1712

REV. DATE:
REV. DATE:
REV. DATE:
REV. DATE:

THE UNDERSIGNED CERTIFIES THAT THESE PLANS
HAVE BEEN PREPARED BY HIMSELF OR UNDER
SUPERVISION AND THAT TO THE BEST OF HIS
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OF ADA AND VILLAGE OF ALGONQUIN BUILDING CODE.

CDD/08/18 © MAEMAR PC 2018

LICENSE # 03-001718 EXP. 11/30/2018
MEIRAN FAKHRAHNOUJOUR



SAMPLE TENANT SIGN

3/16"= 1'-0"

VILLAGE OF ALGONQUIN SIGN CODE

THIS EXHIBIT OUTLINES THE TENANT SIGN CRITERIA FOR THE RETAIL TENANT SPACES AT ALGONQUIN TOWN CENTER LOCATED ON 1310 E. ALGONQUIN RD., ALGONQUIN, ILLINOIS 60192. TENANTS SHALL BE REQUIRED TO SUBMIT DETAILED AND DIMENSIONED DRAWINGS INDICATING GRAPHIC CONTENT, COLORS, LETTER STYLES, CONSTRUCTION METHODS AND FASTENING DETAILS TO THE VILLAGE OF AND THE LANDLORD (RMS PROPERTIES, 1111 N. PLAZA DRIVE, SCHAUMBURG, ILLINOIS 60173; P: (847) 891-1800, FAX: (847) 891-1888, PDLUG@SBCGLOBAL.NET

THE SUBMITTED SIGN DOCUMENTS WILL HAVE TO BE APPROVED BY THE LANDLORD AND THE VILLAGE OF ALGONQUIN PRIOR TO ANY FABRICATION AND OR INSTALLATION OF ANY SIGN.

THE SIGN SHALL BE CENTERED BOTH VERTICALLY AND HORIZONTALLY ON THE SIGN BAND ABOVE DEMISED PREMISES.

ALL SIGNS SHALL BE FABRICATED AND INSTALLED BY A LICENSED CONTRACTOR, ACCORDING TO THE REQUIREMENTS OF LOCAL, STATE AND NATIONAL CODES.

ALL TENANT SIGN ARE TO BE REGULAR CHANNEL LETTER 1/8" - 1/4" ACRYLIC FACE. W/ DARK BRONZE ANODIZED RETURNS 4"-8" DEEP.

SIGNS UTILIZING LEGALLY REGISTERED AND RECOGNIZED LOGOS, TRADEMARKS OR LETTER STYLES AND COLORS THAT DIFFER FROM THE ALGONQUIN TOWN CENTER'S SIGN CRITERIA GUIDELINES MAY BE ALLOWED SUBJECT TO APPROVAL BY THE PLANNING AND ZONING DEPARTMENT OF VILLAGE OF ALGONQUIN, AND THE LANDLORD.

WALL SIGN, INCLUDING THE RACEWAY, SHALL NOT PROJECT MORE THAN 14" FROM THE WALL SURFACE.

ONE (1) LINE LETTERS SHALL NOT EXCEED 36 IN HEIGHT. TWO (2) LINE LETTERING MUST FIT WITHIN THE 5'H. AREA OF THE SIGN BAND AS SHOWN ON THIS SHEET.

TENANT SIGN WIDTH SHALL NOT EXCEED 80% OF THE TENANTS LEASED FRONTAGE AREA.

FACE COLOR SHALL BE UNIFORM AS INDICATED BELOW. RETURNS SHALL BE DARK BRONZE OR BLACK. IF RACEWAYS ARE USED THEY MUST BE PAINTED TO MATCH THE WALL COLOR WHERE SIGN IS MOUNTED.

TENANT SIGN FONT STYLE SHALL BE ARIAL BOLD OR SIMILAR: **ABCD abcd 1234**

SHOPPING CENTER ID SIGNS FONT STYLE SHALL BE COMMERCIAL SCRIPT OR SIMILAR: *ABCD abcd*

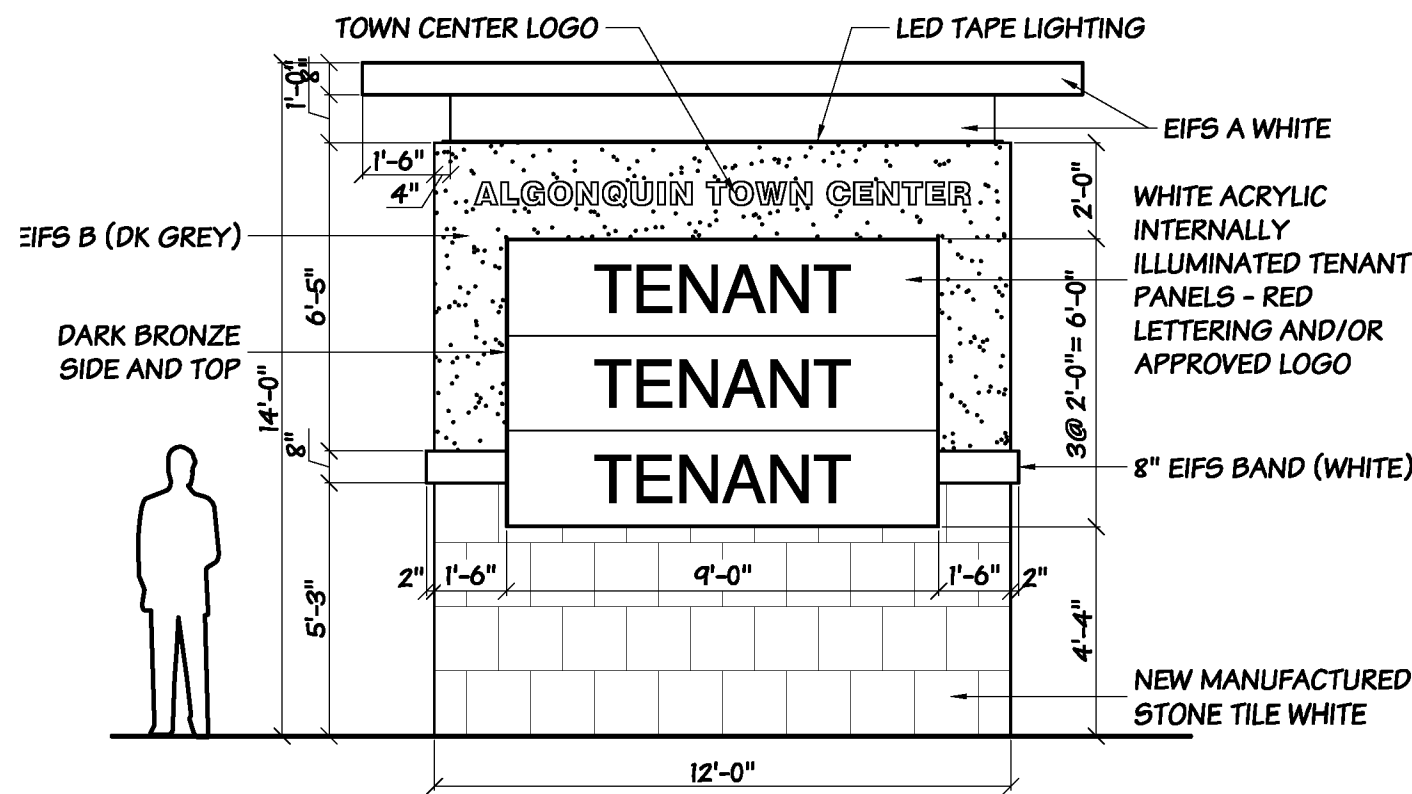
1234

TENANT MAY ALSO INSTALL (1) IDENTIFICATION SIGN ON THE REAR SERVICE DOORS IN WHITE VINYL LETTERS WITH A MAXIMUM HEIGHT OF 6". ADDRESS NUMBERS WILL BE PROVIDED AS PART OF BASE BUILDING.

SIGN FACE COLOR FOR ALL TENANT SIGNS

RED (ACRYLITE 205-0 GP)

WHITE (ACRYLITE 015-2 GP)



PROPOSED MONUMENT SIGN (2 THUS)

1/4"= 1'-0"

VILLAGE OF ALGONQUIN SIGN CODE

Chapter 29

D. General Sign Criteria:

1. Common Signage Plan: Common signage plans shall be permitted to impose requirements in a larger development and to reward property owners who prepare and follow coordinated signage plans for a larger piece of property with basic standards of consistency. The provisions of this district can be modified to benefit individual property owners or the owners of shopping centers, multiple business centers, and other multi-tenant properties to avoid problems with uncoordinated signage that could occur in multi-tenant situations. Property under single ownership may also have considerable merit in encouraging uniform sign design.

2. Criteria: The common signage plan for all zoning lots with multiple usage or multiple users shall limit the number of freestanding signs to a total of one for each street on which the zoning lot has frontage. The common signage plan shall provide for shared or common use of the main freestanding sign. The common signage plan shall be included in any PUD plan, or in other official plans required by the Village for the proposed development, and shall be reviewed simultaneously with such other plans. Through approval of the common signage plan as part of the approval of the PUD or of the site plan for the development, no sign shall be erected except in conformance with such plan. The plan shall be enforced in the same manner as any other provision of this Chapter or of this Code.

ALGONQUIN TOWN CENTER
1310 E. ALGONQUIN RD., ALGONQUIN, IL. 60192

SHEET TITLE

SIGNAGE CRITERIA &
MONUMENT SIGN

SHEET #

SN1

REV. DATE:

REV. DATE:

DATE: 01/11/18

ISSUED FOR: REVIEW

SCALE: AS INDICATED

PROJECT #: 1712

03/29/2018 © MAEMAR PC 2018

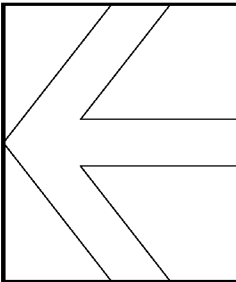
THE UNDERSIGNED CERTIFIES THAT THESE PLANS
HAVE BEEN PREPARED BY ME OR UNDER MY
SUPERVISION AND THAT TO THE BEST OF MY
KNOWLEDGE & BELIEF THEY MEET THE REQUIREMENTS
OF ADA AND VILLAGE OF ALGONQUIN BUILDING CODE.

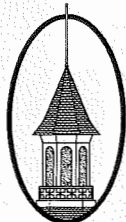
MEERAN FARUKHANPOUR

LICENSE # 03-011118 EXP. 11/30/2018

MAEMAR P.C.
A FULL SERVICE ARCHITECTURAL PRACTICE

3996 ORCHARD LANE
LONG GROVE, IL 60047
PHONE : (847) 650-9805
FAX : (847) 530-9815
WWW.MAEMARP.C.COM





VILLAGE OF ALGONQUIN
PUBLIC WORKS DEPARTMENT

– MEMORANDUM –

DATE: Wednesday, March 14th, 2018
TO: Mr. Robert Mitchard, II
FROM: Mr. Jason A. Meyer Chief Water Operator
SUBJECT: *Letter of Recommendation – Construction Contract
Well 11 Rehabilitation*

This memo is to advise you of the proposal recommendation on the Well 11 Rehabilitation project. You may recall that this project was sent exclusively to Water Well Solutions as they are the Villages preferred and primary Well Rehabilitation contractor. As you are aware of the sink hole that developed around the well head, Water well solutions already pulled the well pump and performed the down hole inspection of the well. That inspection reported significant issues with the status of Well 11. The Village has used that report to form the scope of services which includes but is not limited to: Mobilization, Ex., Recondition of the Bowl Assembly, Recondition of column pipe, & Testing. The well screen will also be rehabbed by having the plugging material removed via a double disk surge block with purge pump system.

Bids

In total 1 firm submitted a bid by the deadline of 3-14-18 @ 11AM, below is a summary.

FIRM	Calc. Total	Matched	SECURITY	CERT
Water Well Solutions	\$58,387.00			

Budget Information:

This project did not have an engineers estimate of cost, but comparing previous rehab project the cost is \$58,387.00. In order to cover the cost of the proposal it has been determined that 20K of the 40 K budgeted (07700400-44418) for Well 9 to be rehabbed this year will be used to fund for this project. We will then need to reinstate 9 into next year's budget. Then the remaining \$38,387.00 Will come out of (07700400-44418). This decision has been made as Well 11 is a high priority installation and is currently not running due to rehabilitation need.

Recommendation

The Village has extensive experience with Water Well Solutions of Elburn, IL The contractor is very aware of the Villages requirements and operations. It is for those reasons and the analysis conducted that I

recommend Water Well Solutions. for award in the amount of \$58,387.00 for the subject project contract.
Please confirm this recommendation so that I may prepare the award and contract.

Projected Project Schedule (2018)

- Notice to Bidders **(Completed)**
- Bid Opening **(Completed)**
- 3/27– Bid Recommendation for Committee of the Whole **(Pending)**
- 4/24– Committee of the Whole Approval **(Pending)**
- Prepare Contract Signature Documents
- 4/17 – Village Board Approval
- 4/23– Awarded Contractors Contract & Insurance Due



March 14, 2018

Mr. Jason Meyer
Chief Water Operator
Village of Algonquin
10 Meyer Dr.
Algonquin, IL 60102

RE: WELL NO. 11 REPAIR PROPOSAL:

Well No. 11 consists of a 150Hp, 4 pole, Hitachi 460v, water filled motor set 91ft on 10" T&C epoxy coated column pipe.

Proposed Repair Scope Well No. 11:

Propose Pricing to Pull Well No. 11 for inspection is as follows;

Item 1	Mobilization of Hoist, Tools & Equipment	\$300.00
Item 2	16 Hrs. Labor with a (2) man pump crew to pull Well No.11's pumping equipment for inspection @ \$350.00/hr. (Est.)	\$5,600.00
Item 3	Shop Labor to Disassemble & Inspect Submersible Turbine Bowl Assembly	\$850.00
Item 4	Perform Motor analysis and inspection	\$500.00
Item 5	2 - Investigational Downhole Television Survey	\$2,600.00
Item 6	24Hrs Labor with a 2-man pump crew to re-install pumping equipment, and conduct a 2hr flow test for pump performance and well efficiency @ \$350.00/hr. (Est.)	\$8,400.00
	Total Estimated Project Labor	\$18,250.00 \$8,400.00

Based upon our evaluation and inspection of Well No. 11, the following is WWS' proposal to Repair Well No. 11.

Item 1	New 4 Stage 14RJMC Goulds Submersible Turbine Bowl assembly with S.S. impellers, bronze wear rings, S.S. Bolts and collets rate for 1900gpm	\$18,113.00
Item 2	150Hp, 3/60/460v, 1800rpm 12" Hitachi Submersible Motor Repairs (New Hitachi 150Hp, 1800rpm 12" Submersible Motor \$36,953.00)	\$23,193.00
Item 3	Sand blast 91ft of 10" T&C Sch. 40 Epoxy Coated Column Pipe to bare metal and apply a protective epoxy coating on ID & OD of pipe @ \$42.00/ft	\$3,822.00
Item 4	Labor & Materials Replace (1) 10" Surge Control Valves	\$2,313.00
Item 5	Trucking of Pipe & Materials	\$1,500.00
Item 6	Replace (2) Baker Pitless O-rings @ \$113.00/each	\$226.00
Item 7	Sand Bailing Hourly Rate With a (2) Man Pump Crew	\$365.00
Item 8	Misc. Tape, banding & Airline	\$455.00
	Total Estimated Repair & Rehabilitation Proposal	\$49,987.00 \$49,987.00

The motor repair option comes with our standard (1) year warranty as well as on all parts and labor. **\$58,387.00**

Optional Well Rehabilitation Proposal;

Option 1	Our rehabilitation methodology and cost for the proposed rehabilitation is based on the investigational downhole television survey which identified significant blockage & plugging of the well screen. Rehabilitation of the Gravel Pack and Screen will be conducted Utilizing a Double Disk Surge Block w/Purge Pump to Evacuate Dislodged Silts, Sediments and Biological Presences in Conjunction with Specialized Engineered Well Chemistry to Redevelop the Well Screen and to Remove Plugging Materials.	\$14,900.00
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If you have any questions, comments or concerns, please do not hesitate to contact me directly on my cell phone at (630) 201-0749 or at the office at (630) 369-9099.

Sincerely,

Todd E. Kerry
General Manager – Water Well Solutions
Suez - Water I Advanced Solutions

Signature: _____

Name: _____

Title: _____

Date: _____