

AGENDA  
COMMITTEE OF THE WHOLE  
May 23, 2017  
2200 Harnish Drive  
Village Board Room  
- AGENDA -  
7:30 P.M.

Trustee Steigert – Chairperson  
Trustee Sosine  
Trustee Spella  
Trustee Jasper  
Trustee Brehmer  
Trustee Glogowski  
President Schmitt

1. **Roll Call – Establish Quorum**
2. **Public Comment – Audience Participation** (*Persons wishing to address the Committee on an item on this agenda must register with the Chair prior to roll call.*)
3. **Community Development**
  - A. Consider Glenloch PUD Amendment and Final Plat of Resubdivision
4. **General Administration**
  - A. Consider Changes to Chapter 22, Algonquin Subdivision Ordinance
5. **Public Works & Safety**
  - A. Consider an Agreement with Compass Minerals America, Inc for the Purchase of Salt
6. **Executive Session**
7. **Other Business**
  - A. Potbelly Pig
8. **Adjournment**



**VILLAGE OF ALGONQUIN**  
*COMMUNITY DEVELOPMENT DEPARTMENT*

**– M E M O R A N D U M –**

DATE: May 18, 2017

TO: Committee of the Whole

FROM: Russell Farnum, AICP, Community Development Director

SUBJECT: *Glenloch PUD Amendment and Final Plat of Resubdivision Request*

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**Introduction**

Bill Robinson, on behalf of CalAtlantic Homes (formerly Ryland Homes) and CityView Algonquin Shores 166, has petitioned for approval of a PUD Amendment for the Glenloch/Waterford of Algonquin Subdivision. The requested changes include the following:

- Conversion of the townhomes to single family detached homes on “Flex Lots”;
- Addition of age restriction (55+) onto the new single family lots, following the remainder of the subdivision;
- Elimination of the affordable condo building at the south end of Indigo Drive;
- Relocation of the community building from the north end of Mahogany Drive to the northeast corner of Magenta Lane and Sable Lane;
- Waiver of future building code requirement for residential sprinklers, in exchange for addition of a sprinkler head in the furnace room and garage or kitchen.

This subdivision was approved as an age-restricted (55+) development with all yard and landscaping maintenance provided by the Owners Association. This remains part of the subdivision even under this new proposal by CalAtlantic.

**Background**

The subject property has gone through a series of changes and zoning amendments. The land was originally annexed and zoned in 1991 for mining purposes. In 2003, the property was rezoned to R-3 residential and a PUD approved for the “Indian Lakes” subdivision. After the property changed hands several times, Windsor Development purchased the property and the “Auburn Lakes” project was approved in 2005. At that time, the project was entirely age-restricted (persons 55 years of age and older), due to capacity constraints in the School District, and a requirement for the affordable condo building was added for compliance with the Illinois Affordable Housing Act. The project had 203 units, consisting of 115 single family detached homes, 18 condos, and 70 townhomes.

In 2007 the Final Plat was recorded with the project name changed to “Waterford of Algonquin”, and later the developer changed the name to “Glenloch of Algonquin”. In 2010, a PUD Amendment was approved to eliminate the age restriction on the townhomes, with the hope that a broader market would attract more buyers to generate interest in the property without adding additional burdens on the school

**Glenloch**  
of Algonquin

LAKE COOK ROAD

ALGONQUIN ROAD

ILLINOIS ROUTE 25

ILLUSTRATIVE PLAN

0 50 100 150 200  
FOOT

1" = 100'

2000

**PROJECT INFORMATION**

OWNER: GLENLOCH ADDITION, LLC  
 DESIGNER: GLENLOCH ADDITION, LLC  
 DATE: 10/1/11  
 SHEET NO. 1 OF 1

**SITE DATA**

LAND AREA	ACRES	PERCENT
EXISTING LOT COVERED BY LOT 41	0.00	0.00
EXISTING LOT COVERED BY LOT 42	0.00	0.00
EXISTING LOT COVERED BY LOT 43	0.00	0.00
EXISTING LOT COVERED BY LOT 44	0.00	0.00
EXISTING LOT COVERED BY LOT 45	0.00	0.00
EXISTING LOT COVERED BY LOT 46	0.00	0.00
EXISTING LOT COVERED BY LOT 47	0.00	0.00
EXISTING LOT COVERED BY LOT 48	0.00	0.00
EXISTING LOT COVERED BY LOT 49	0.00	0.00
EXISTING LOT COVERED BY LOT 50	0.00	0.00
EXISTING LOT COVERED BY LOT 51	0.00	0.00
EXISTING LOT COVERED BY LOT 52	0.00	0.00
EXISTING LOT COVERED BY LOT 53	0.00	0.00
EXISTING LOT COVERED BY LOT 54	0.00	0.00
EXISTING LOT COVERED BY LOT 55	0.00	0.00
EXISTING LOT COVERED BY LOT 56	0.00	0.00
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EXISTING LOT COVERED BY LOT 69	0.00	0.00
EXISTING LOT COVERED BY LOT 70	0.00	0.00
EXISTING LOT COVERED BY LOT 71	0.00	0.00
EXISTING LOT COVERED BY LOT 72	0.00	0.00
EXISTING LOT COVERED BY LOT 73	0.00	0.00
EXISTING LOT COVERED BY LOT 74	0.00	0.00
EXISTING LOT COVERED BY LOT 75	0.00	0.00
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EXISTING LOT COVERED BY LOT 92	0.00	0.00
EXISTING LOT COVERED BY LOT 93	0.00	0.00
EXISTING LOT COVERED BY LOT 94	0.00	0.00
EXISTING LOT COVERED BY LOT 95	0.00	0.00
EXISTING LOT COVERED BY LOT 96	0.00	0.00
EXISTING LOT COVERED BY LOT 97	0.00	0.00
EXISTING LOT COVERED BY LOT 98	0.00	0.00
EXISTING LOT COVERED BY LOT 99	0.00	0.00
EXISTING LOT COVERED BY LOT 100	0.00	0.00

**NOTES:**

- EXISTING AND PROPOSED EASEMENTS ARE SHOWN.
- PROPOSED EASEMENTS ARE SHOWN AND ARE TO BE SET BACK FROM THE EXISTING LOT BOUNDARY BY THE DISTANCE SHOWN ON THE PLAN.
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**LOCATION MAP**

NOT TO SCALE

**1 OF 1**

## **Discussion of Developer-Requested Amendments**

The proposed amendments include the following items, which are addressed below.

### **Conversion of Townhomes to Age Restricted Single Family Detached Homes**

There is currently a very limited market for townhomes, so CalAtlantic has petitioned to convert the townhome lots into lots for single family detached homes. That results in a reduction of about 40 units overall, depending upon the final layout, and Staff supports this change. In addition, the new single family units would be age restricted, so there is no new or additional impact on the School District, the entire project would become a senior living community. Staff supports this change.

A unique approach is the proposed “Flex Lots”. The concept is that the building pad planned for a 4-unit townhome would be resubdivided to provide for 3 single family homes, with the lot lines drawn after the units are sold. The developer is requesting flex lots because they offer a variety of models, with widths ranging from 35 feet to 50 feet, and the lot lines would vary depending upon the model sold with each building pad.

While Staff is willing to allow flexibility, this approach is problematic for a number of standpoints, the least of which is tracking an ongoing series of resubdivision plats and changing property index numbers. It also creates potential problems with sequential lot numbering, assuring that the resubdivision plats get recorded, and the issue of processing reviews and approvals of those plats. By Village code, each of those resubdivisions would have to come through the Planning and Zoning Commission and Village Board for approval, which is time consuming and could rapidly become tedious.

An elegant solution is to plat all three lots on the individual flex lots at once. Each building lot already has a proposed building pad that outlines the maximum house envelope, as shown on the final engineering plan. By simply platting the three pads per outlot with the first unit, the developer would know which models fit each lot, which is limited by the engineering, and would not need to follow through with a series of resubdivisions. Staff supports this approach and recommends the Committee and Board approve administrative review and processing of these resubdivision plats, as outlined in the recommended conditions of approval.

### **Elimination of the Affordable Condominium Building**

CalAtlantic is a national homebuilder, but does not build multi-story multiple family buildings, and does not build affordable housing. These elements are outside the firm’s experience, and CalAtlantic has offered to pay cash in lieu of constructing the affordable condo units, and dedicate the land to the Village.

The location of the affordable condo building, at the south end of Indigo Drive, is the location of an essential water main extension project currently planned by the Village. This water main extension would interconnect Algonquin’s water system with the Carpentersville water system. This interconnect allows Algonquin to supply water to Carpentersville, if there is any emergency situation where Carpentersville is short of water supply (severe storms, water system maintenance, etc.). Inversely, Carpentersville can supply Algonquin water if the Village were to experience similar problems.

Because it is far more efficient for the developer to construct this interconnect while building the other infrastructure improvements, Staff have negotiated that the developer pays for this water main construction instead of providing cash in lieu of the affordable housing units.

Because the affordable condos will not be constructed, the foundation should be removed as part of the site improvements, regardless of the future use of the property.

As far as the land dedication, the Village's only interest is in obtaining a water main easement for the water interconnect with Carpentersville. Instead of deeding the land to the Village, Staff recommends that the developer either plat a couple more single family lots, or add the open space to the remaining common areas of the subdivision (or a combination of both).

#### Relocation of Community Building/Clubhouse

The original plan for Glenloch placed the Community Building at the north end of Mahogany Drive. The intent was create a high level of visibility for traffic entering the site. The downside is that the community center is then quite a distance from the remainder of the subdivision.

The proposed new location eliminates one townhome pad, and places the Community Building in a more central location, adjacent to a large area of open space. The large community center site at the north end of Mahogany would be replatted for three additional single family home lots. Staff supports this change, as it makes the community center more accessible to the majority of the subdivision, and four townhomes are being replaced by three single family lots.

As part of the original plan, a water main looping connection between the north end of Mahogany and Compton Drive was part of the site improvements for the community center. This has been appropriately redesigned as part of the replatting of the three new lots at the north end of Mahogany.

The developer is showing on-street perpendicular parking for the clubhouse. This is not allowed by Village code, and discouraged by Public Works. The developer has only provided a draft building elevation and layout concept, with no details on the building materials nor the amenity nor landscaping package that will accompany the new community center. The original clubhouse plan included a pool and substantial park-like amenities. Staff recommends that those details be submitted for Staff review and recommendations.

#### Future Building Code Amendment/Waivers

The Developer was requesting that the Village allow build out of the subdivision under the existing building codes, even if more stringent codes were adopted partially through the project. In particular CalAtlantic's concern is that the newer editions of the building codes will require residential sprinkler systems, which adds to the cost of the housing and is not in their pro-forma for this project. While Staff supports the code requirements, it is unknown exactly when the new code series will be adopted, so there is value in meeting the developer halfway.

Staff and the developer have worked out an agreement where, in lieu of a full-house sprinkler requirement at some point in the future, the developer will provide a sprinkler head in each, the furnace room and the garage (or kitchen), for every new home in the subdivision. That is an improvement over the current building code requirements, with a nod toward "grandfathering" the project if an updated code is adopted in the near future.

The Letter of Awareness should be amended to include language so the homeowner recognizes the importance of these sprinkler heads and proper maintenance of that system.

## **Discussion of other Staff Comments and Concerns**

### **Setbacks**

The front yard setbacks for this subdivision are platted at thirty feet (30') even for the townhomes. The new lots are showing a variety of front yard setbacks starting at as little as twenty feet (20'). The Village standard has been thirty feet and staff does not recommend varying from that requirement.

### **Other**

Final versions of the material specifications, color palletes, typical foundation planting plans and other details, still need to be provided and reviewed by Staff. Additionally, some anti-monotony provisions should be added as many of the front elevations are very similar.

Outlot C provided for a future path connection from Mahogany to Algonquin Lakes Park at the northwest corner of the property. This connection is no longer necessary and should be eliminated, with the outlot re-platted as part of the adjacent lots.

Outlots F and G are clearly spite strips that should not have been recorded on the original plat. These should be dedicated to the Village as Russett Road right-of-way.

Any updates to the covenants and/or Letter of Awareness need to be reviewed and approved by the Village prior to recording the final plat.

A number of other platting and engineering amendments are found in the accompanying reviews by Public Works and the Village Engineer.

## **Recommendation**

The Planning and Zoning Commission held a public hearing on this request and unanimously recommended approval of the PUD Amendment and Revised Final Plat of Subdivision with the conditions listed below. Staff will continue to work with the developer to ensure that the final plans address Village requirements. Committee of the Whole concurrence to move this forward for Board approval, subject to the following conditions, is recommended.

1. That all offsite and onsite utilities serving the Subject Property shall be underground and that site construction, utility installation and grading shall not commence until the Final Plat of Subdivision, Final Engineering Plan and Final Planned Development plan have been approved by the Village Board and recorded with the County, and appropriate surety for the subdivision improvements provided.
2. The Landscape Plans prepared by Gary R. Weber Associates, with the latest revision date of April 7, 2017, shall be revised to address the comments contained in the April 26, 2017 memorandum from the Public Works Department and the May 2, 2017 letter from Christopher Burke Engineering. There shall be landscaping around the monument signs that shall include plants that will be attractive in all seasons. A permit is required for installation of the monument signs. A more detailed plan shall be provided for the community center, and a typical foundation planting plan should be provided with the building elevations.
3. Engineering Plans, as prepared by Mackie Consultants, with the latest revision

date of March 10, 2017 shall be revised to incorporate comments from the April 26, 2017 memorandum from the Public Works Department and the May 2, 2017 letter from Christopher Burke Engineering. The final engineering and site improvements shall include the water main looping at the north end of Mahogany Drive, the water main interconnection at the south end of Indigo (Lot 19), and the removal of the foundation on Lot 19. No on-street perpendicular parking shall be allowed at the community center.

4. Architectural elevations, product samples, color palletes, landscaping plans and a draft anti-monotony provisions shall be provided for the Community Center and the proposed model homes. All buildings shall follow the material specifications set forth in the original PUD. In lieu of future building code requirements for whole house fire sprinkler systems, all homes constructed after this approval shall be provided with a minimum of one sprinkler head in the furnace room and one in the garage or kitchen. Sprinklers shall comply with IRC and Fire Code requirements. The LOA shall be revised to include notice of the sprinklers installed in the dwellings.

5. The Final Plat of Subdivision as prepared by Mackie Consultants LLC, with the latest revision date of April 7, 2017, shall be revised to address comments from the April 26, 2017 memorandum from the Public Works Department, the May 2, 2017 letter from Christopher Burke Engineering, and the comments herein. All lots shall be cleanly subdivided in one recorded document for the revised project. The setbacks shall be correctly shown on the plat, with a detail of typical setbacks added. The front yard setbacks shall not be less than thirty feet (30') on the existing single family lots, and not less than twenty-five feet on the replatted townhome "Flex Lots" and Lot 19. Side lots shall not be less than five and a half feet for all lots. Outlot C shall be combined with the adjacent single family lots, and Outlots F and G shall be dedicated to the Village as right of way. Lot 19 shall not be dedicated to the Village for park land, but an easement shall be provided for the water main extension to the south property line. Lot 19 may also be resubdivided for additional single family home lots, or added to the private park land, or a combination of both. Prior to any construction on a "Flex Lot", a Permit Plat and a Plat of Resubdivision shall be provided the Staff for review, approval, and recording, prior to issuance of any building permit on that lot; no lot shall be transferred by "metes and bounds" description.

6. The revised draft Letter of Awareness and any revisions to the Covenants shall be submitted for staff review and approval prior to recording of the final plat.

Attached: Staff reviews, Developer Submittal Package, PZC Minutes (DRAFT)



# VILLAGE OF ALGONQUIN

## PUBLIC WORKS DEPARTMENT

### – M E M O R A N D U M –

DATE: *Wednesday, April 26, 2017*  
TO: *Russ Farnum (VoA)*  
FROM: *Shawn M. Hurtig*  
SUBJECT: *Public Works Review # 1 – 60% Submittal*  
*Glenloch Re-subdivision (CD2017-04)*

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Please find below the Village of Algonquin comments, concerns, and issues regarding the subject project.

#### Plan Review Comments:

##### PAGE

##### ISSUE

Plat	Lot 19 is now shown as land being dedicated to the Village. Public Works believes this lot can be further subdivided and utilized by the developer as long as at a minimum a 20 foot easement is provided. At a minimum should the lot remain in its current configuration the lot shall be noted as an outlot that is the responsibility of the HOA. The outlot shall have the necessary watermain easement provided.
Plat	The updated plat has a page for vacated land rights. I am a bit concerned about outlot E having the temporary construction easements vacated in order to build the walls and make appropriate grade transitions. I can understand them being updated, but they are not shown on the final plat of survey.
Plat	Lot 202 and 86 have a combined 15 foot easement for the WM loop from Compton, this shall be increased to a 20 foot wide easement
Plat	Final Plat to include all professional land surveyor information
Plat	It is recommended that Outlot “C” be removed and adjacent lots absorb the outlot land. The path in this outlot is not a pertinent or necessary link in the Village system.
Plat	Please make note that all outlots are to be owned and maintained by the HOA. This includes all amenities on these lots (multi-use path, outlooks, benches, restoration, etc...)
Misc.	Within the last few years the Village of Algonquin was contacted by the Village of Carpentersville to work on a path connection between the existing trail on Outlot A and the existing trail in Silverstone Lakes Park. However, as the Village of Algonquin is not the owner of outlot A or the path on the outlot, the work did not proceed. Carpentersville has already designed this path connection, thus it might be worth contacting them to negotiate this installation as part of the developments improvements. Adding this path connection from the subdivision to the park would be a nice amenity for the residents of Glenloch.



Misc.	Please provide a traffic management signage plan (trucks exiting entering, construction entrance ahead, etc.) for Compton Drive. Please note that “No Construction” traffic is to use Compton Drive south of site.
Civil Pg 2	The Village is requesting the use of our low air void surface mix design (specification attached)
Misc.	<p>Since the original acceptance of this project the Village has updated the ADA crosswalk standard. As part of that standard we have attempted to mitigate the number of crossings needed within subdivisions. Considering that information the Village recommends that only the following crosswalk locations be included</p> <p>Russet @ IL Rt 25 = provide crossing of Russet</p> <p>Russet @ Indigo = provide crossing of Russet &amp; south leg of Indigo</p> <p>Indigo @ Magenta = provide crossing of Magenta</p> <p>Indigo @ Azure = provide crossing of Indigo &amp; south leg of Azure</p> <p>Azure @ Compton = provide crossing of Azure</p> <p>Compton @ Mahogany = provide all way crossing</p> <p>Mahogany @ Magenta = provide crossing of Magenta</p> <p>Compton @ Magenta = provide all way crossing</p> <p>Magenta @ Sable = provide crossing of Sable and east leg of Magenta</p>
Misc.	Please find attached the Village work flow for ADA design. Please ensure that you follow this guideline to provide the necessary details on the project plan documents to stay in conformance with ADA standards.
Civil Misc.	Please indicate the removal of the old construction gate at the south end of Compton (at property line of project)
Civil	General notes shall indicated that standards shall also be in conformance with the Village of Algonquin
Misc.	<p>It should be noted that the current field condition of the binder is in question. There has been significant biological growth between the curb and pavement which has led to deterioration of the binder at this interface. This combined with the likely abuse from the open cutting of some of roadway for utility removals and installs as well as the plethora of traffic will likely lead to a failure of the binder. As such the engineers estimate for the project should include most if not all of the binder being rehabilitated and or removed and replaced. It is the Village standard that the binder be reviewed at 80% build out of the project lots and that should 50% or greater of the binder be in a deteriorated condition that the entire binder shall be rehabilitated.</p>
Civil	The private utility contact list is out of date, please remove
Civil Pg 4	The typical lot exhibit detail shall indicate that the sump discharge shall be piped directly to a storm sewer structure. It is not permitted that they discharge to grade unless the grade runs directly into a detention facility. Also indicate that each lot shall have a sanitary sewer service clean out located within 10 feet of the building.

Civil Pg 6	There is a street light on Sable Lane that is noted to remain, however the symbol is "X" out.
Civil & Plat	Lots 224-215 have a 15 foot rear yard PUE indicated, however the existing storm sewer is beyond the planned easement. Please either alter the alignment of this storm sewer or amend the plat to have an easement that covers this condition
Civil Pg 11	The sanitary service for lot 202 must wye into the main, it cannot connect into a manhole
Civil Pg 11	The location of the water service at lot 202 is currently shown in a side yard easement, it is requested this service come off the main in the front yard easement
Civil Pg 11	The monument sign must not encroach within 10 feet of the proposed watermain. Please have proper clearance provided
Civil 11&12	The project shall not have any on-street parking stalls (such as those in Sable Court for the Clubhouse). This is due to winter maintenance concerns and ongoing maintenance of pavement markings, signage, etc.. If parking is necessary for the clubhouse it shall be constructed as a standalone parking lot on private property (Lot 205)
Civil Misc.	Indicate sump pump connection lines for lots 138-143 & 5-13
Civil Misc.	There are several occasions that it appears that sump connection lines will cross over adjacent property lines outside of the easement. The following lots have been identified as concerns 5, 7, 12, 117, 119, 125, & 130.
Civil Pg 13	Indicate a sanitary service connection for lot 117
Civil Misc.	Please indicate (symbolize or note) that Class D patching and curb replacement is necessary for all utility work that crosses the existing roadway.
Civil Misc.	Please find attached a foundation elevation analysis worksheet. The Village has identified the following adjacent lots that are in excess of the max 7% foundation elevation difference and do not indicate home design alterations. Lots 117 & 116, Lots 5 & 6, Lots 7 & 8, Lots 143 & 5, Lots 8 & 9, Lots 12 & 13, Lots 17 & 18.
Civil Misc.	The Village requires a detailed cross section of overland flood route drainage swales that run between homes. This is the case between lots 142 & 143 and lots 16 & 17. Please provide detail and associated flow information.
Landscape	The Village ran its analysis of tree diversity and found that the 10% species rule was exceeded on the London Planetree and Smoothleaf Elm. It is requested at least 4 of each of these species are replaced with other village approved shade trees, that are not currently on the project.
Landscape	The native areas of the project have been overrun by invasives. While the plan does indicate (in Note 2) that invasives shall be removed, it is likely that a full herbiciding of the existing vegetation in the native areas will be required. The Village recommends that you follow the attached native restoration standards

(Slope Protection Construction, Native Seeding Soil Preparation, and Native Seeding) for the rehabilitation of the native spaces. (attached)

- Landscape Native restoration areas should only contain Oak varieties of trees (due to their tolerance to conducting maintenance burns on native spaces). All trees that are not of the Oak variety shall be switched and or removed from the native area.
- Landscape No shrubs or perennial plantings shall be installed in the native seed zones (due to maintenance burns of native spaces). Thus it is necessary to remove the detailed plantings around the seating areas as well as shrubs along the path.
- Landscape It should be noted that Native restoration areas require a 3 year maintenance and monitoring period (see attached Native Planting Maintenance & Monitoring). The Village requires that a separate escrow (from the site plan LOC) be setup for the 3 year payment of the management of these spaces. Therefore, please clearly denote this native management fee on the engineers estimate.
- Cc: Project File (listed in footer)
- Attachments: Various



**CHRISTOPHER B. BURKE ENGINEERING, LTD.**

9575 West Higgins Road Suite 600 Rosemont, Illinois 60018 TEL (847) 823-0500 FAX (847) 823-0520

May 2, 2017

Village of Algonquin  
2200 Harnish Drive  
Algonquin, IL 60102

Attention: Russell Farnum, Community Development Director

Subject: Glenloch Residential Subdivision – FIRST REVIEW  
Algonquin Case No. 2017-TBD  
(CBBEL Project No. 070272.0005A)

Dear Russell:

We have reviewed the following documents related to this project:

- Final Engineering Plans prepared by Mackie Consultants, LLC bearing a revision date of April 7, 2017
- Plat of Subdivision prepared by Mackie Consultants, LLC bearing a revision date of April 7, 2017
- Addendum to the Stormwater Management Report prepared by Mackie Consultants, LLC bearing a revision date of April 7, 2017
- Amended P.U.D. Site Plan prepared by Gary R. Weber Associates, Incorporated bearing a revision date of April 5, 2017
- Landscape Plan prepared by Gary R. Weber Associates, Incorporated bearing a revision date of April 5, 2017
- Transmittal Letter prepared by Mackie Consultants, LLC dated April 7, 2017

The following comments shall be addressed before Christopher B. Burke Engineering, Ltd. can recommend acceptance to the Village:

**FINAL ENGINEERING PLANS**

Sheet 2

1. The bedding material listed in SANITARY SEWER Note 3 shall be revised to conform to the TRENCH SECTION DETAIL on sheet 29.
2. The numbering of the first SANITARY SEWER note shall be revised to "1" versus "D1".

3. The text of STORM SEWER should be revised to delete the text specifying Class III pipe as it conflicts with the next sentence. Also, the text allowing the use of mastic pipe joints should be deleted.

#### Sheet 4

4. The front yard setback of 20' noted in the TYPICAL LOT EXHIBIT is not consistent with the information provided on the Amended P.U.D. Site Plan. The engineer shall coordinate the documents and revise them as required.

#### Sheet 5

5. Note 12 of the TYPICAL UTILITY LAYOUT AND SERVICE CONNECTIONS detail should be revised to correct the spelling of the word "to".

#### Sheet 6

6. The existing streetlight at the north end of Sable Lane is "X-d" out for removal, but is noted to remain. The engineer shall clarify the design intent and revise the plan sheet accordingly (typical to sheets 6 and 7).

#### Sheet 11

7. The reference to see sheet 21 in the SANITARY SEWER PROFILE should be changes to sheet 22.
8. The locations of the sump pump connections for all proposed units shall be depicted on the plan sheet (as already noted for lots 200-202). It may be necessary to run additional rear yard storm sewers to collect the sump pump discharges (typical to sheets 11 thru 15).
9. The note regarding the discharge of sump pumps at grade shall be deleted from the plan sheet (typical to sheets 11 thru 15).

#### Sheet 14

10. The proposed water service for lot 8 should be shifted to the east to avoid being under the footprint of the proposed driveway while maintaining the required 10-foot separation from the proposed sanitary lateral.

#### Sheet 15

11. The existing inlet in the rear yard of lot 16 where the proposed storm sewer connection is made should be replaced with a 5-foot diameter manhole given the diameters of the pipelines and their relative orientations to each other.
12. It is our understanding that the Village wishes to make a water system interconnection with the Carpentersville system along Marble Lane. It is our further understanding that the connection has been designed. The plans should be revised to include this watermain connection and delete the note stating that it will be constructed by others. The routing of the extension shall be coordinated with the Algonquin Department of Public Works.

#### Sheet 16

13. The existing vegetation has overgrown the parkways of the development and is now beginning to grow within the gap between the gutter and pavement. A note shall be added stating that all vegetation shall be removed prior to the placement of the final bituminous lift to the satisfaction of the Village (typical to sheets 16 thru 20).
14. A note shall be added stating that the existing bituminous base shall be inspected by the Village prior to the installation of the bituminous surface and all areas of defective base shall be removed and replaced at sole discretion of the Village (typical to sheets 16 thru 20).
15. The proposed contours along the common property lines of new lot 200 and existing lot 85 do not close upon the existing contours.
16. The proposed elevation 847 contour does not close properly on lot 137.
17. The 847.4 spot elevation along the lot 136/135 property line should be lowered to 847.2 to promote better drainage.

#### Sheet 17

18. The T/F for lot 136 should be dropped to 849.90 to be compliant with section 22.06(C)(1) of the Village Code.
19. The T/F for lot 134 should be increased to 847.50 to be compliant with section 22.06(C)(1) of the Village Code.

#### Sheet 18

20. The T/F for lot 121 should be dropped to 843.50 to be compliant with section 22.06(C)(1) of the Village Code.

21. The T/F for lot 118 should be increased to 841.90 to be compliant with section 22.06(C)(1) of the Village Code.
22. The T/F's for lots 143 and 5 thru 13 will need to be revised to be compliant with section 22.06(C)(1) of the Village Code (typical to sheets 17 thru 18).
23. The section of proposed sidewalk along Magenta Lane north of lot 138 is too steep per ADA standards where proposed elevation contours 845 thru 841 tie into it.

#### Sheet 19

24. The leader arrows for the retaining wall notes do not terminate at depicted the retaining walls.

#### Sheet 20

25. The T/F for lot 18 should be dropped to 851.50 to be compliant with section 22.06(C)(1) of the Village Code.

#### Sheet 21

26. A schedule of construction milestones and approximate dates shall be added to the plan sheet.

#### Sheet 23

27. The leader arrow for the double row of silt fence note does not terminate at the depicted silt fences.

#### Sheet 25

28. The detention pond depicted on the plan sheet is existing and noted to not be disturbed by the proposed construction. Additional measures should be added at the existing storm sewer discharge points to the ponds to trap any silt or debris that may get past the inlet filter bags placed in the existing storm sewer structures (typical to sheets 25 thru 26).

#### Sheet 26

29. The plan sheet notes the construction entrance to be placed onto the Russet Road pavement. The Russet Road-Route 25 entrance is a RIRO. It seems more likely that construction traffic will use Compton Drive as it has full access at Algonquin Road due to the traffic signal. The Village will need to provide direction

to the developer as to the allowable use of Compton Drive and what protection measures it will require there.

## **PLAT OF SUBDIVISION**

### Sheet 1

30. The text of notes 1 and 2 should be revised to delete any language that could be construed as "vacating lots", as this is unnecessary as the legal description notes that as being a resubdivision of various lots and outlots.
31. We recommend that all notes related to the vacation of easements be placed in a separate column of notes such as "VACATION NOTES".
32. The boldness of the text for the numbers and names for the existing lots and outlots should be toned down. The outside boundary lines and the metes & bounds numbers can be left as is.
33. The north line of outlot D is a section line (per the Algonquin Shores plat) and should be labeled accordingly.

### Sheet 2

34. The symbol used for degrees in the bearings on the plan sheet is a (^) versus a circle (typical to sheets 2 and 3).
35. The proposed lot subdivisions do not correspond to the lot numbers found in the engineering plans. It is our understanding that the developer wishes to have the flexibility to subdivide these larger lots in the future to place various sized units on them to compensate for the fact that they are not of uniform size. The developer should provide a narrative as to how the subdivision process of these larger lots will be managed so that the required utility easements can be dedicated to the Village and the lots can be closed upon by the potential buyers (typical to sheets 2 and 3).

## **LANDSCAPE PLANS**

36. The existing ponds have been in place for almost a decade with an unknown level of maintenance. The Village staff should inspect the pond and note any defects that are present. If any are found, the required remedial work should be added to the landscape plans.



## STORMWATER COMMENTS

37. The engineer states in the Stormwater Management Report that no additional detention or retention volume is required as the amount of constructed impervious surface will be the same or less with the requested changes. The engineer will need to provide calculations verifying this statement based upon the housing mix and models proposed by the developer during the final engineering process.

## OUTSIDE PERMITTING AGENCIES

38. A permit will be required from the IEPA for the site disturbance associated with this project. **NO RESPONSE REQUIRED**

## GENERAL COMMENTS

39. As noted on the various plan sheets, the proposed retaining walls over 3.9 feet in height shall be designed and sealed by a structural engineer. The final engineering submittal shall include sealed plans and structural calculations.

We hereby acknowledge that Christopher B. Burke Engineering, Ltd. and Mackie Consultants, LLC has common ownership.
---

Sincerely,



Paul R. Bourke, PE CFM  
Assistant Head, Municipal Department



Michael E. Kerr, PE  
Executive Vice President



ELEVATION A



ELEVATION B



ELEVATION C

# BENNET GLENLOCH

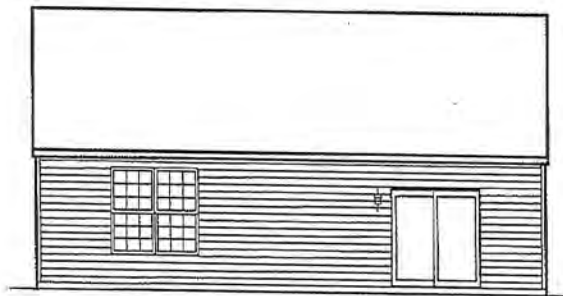
NOTE: 12" EAVES ALL 4 SIDES



**FRONT ELEVATION**



**RIGHT ELEVATION**



**REAR ELEVATION**



**LEFT ELEVATION**

1224 SF





ELEVATION A

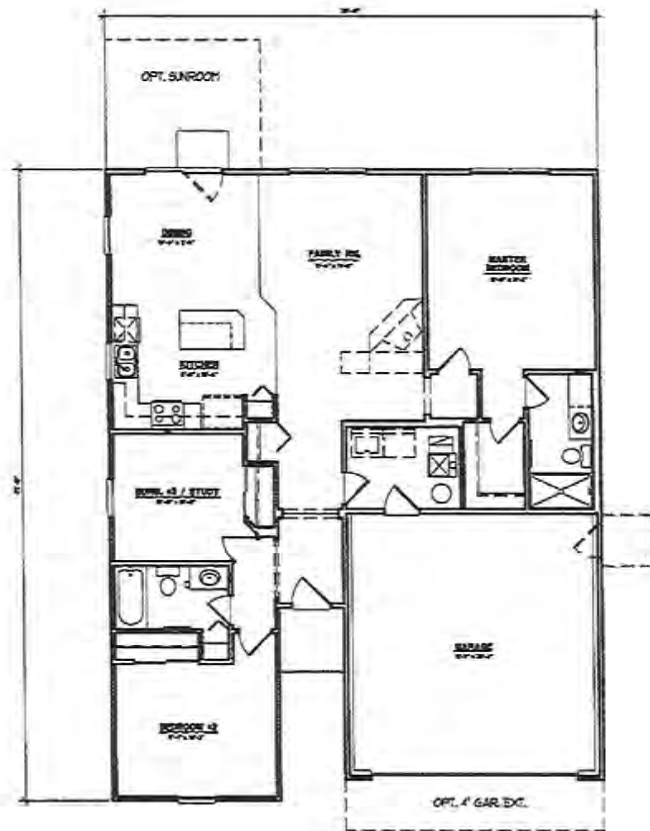


ELEVATION B



ELEVATION C

# FLORENCE GLENLOCH



**1ST FLOOR PLAN**  
**1342 SF.**  
**FLORENCE**

**GLENLOCH**



**ELEVATION A**



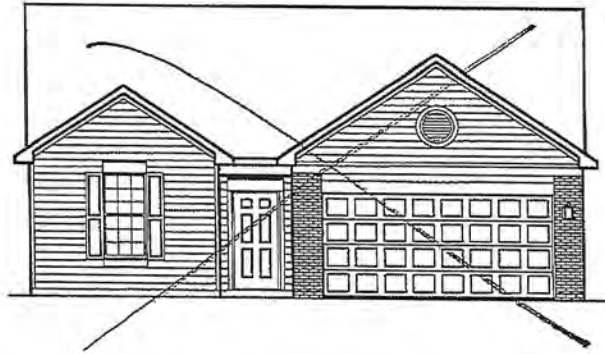
**ELEVATION B**



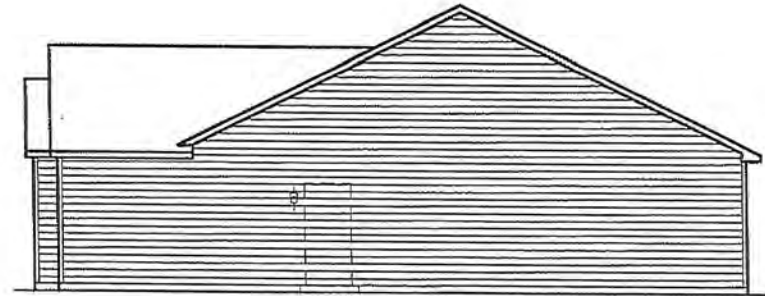
**ELEVATION C**

**6-01-16**

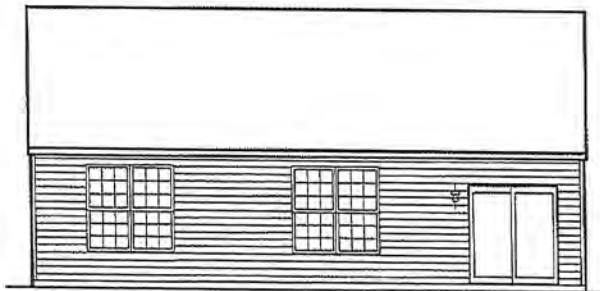
*NOTE 12" EAVES ALL 4 SIDES*



**FRONT ELEVATION**



**RIGHT ELEVATION**



**REAR ELEVATION**



**LEFT ELEVATION**

1342 SF





ELEVATION A



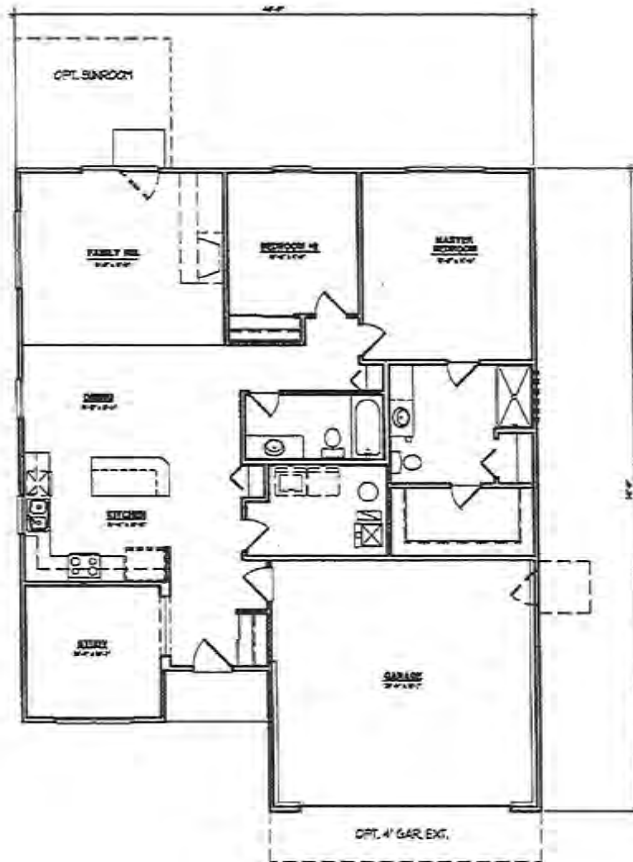
ELEVATION B



ELEVATION C

# NAPA GLENLOCH





**1ST FLOOR PLAN**  
**1428 SF.**  
**NAPA**

**GLENLOCH**



**ELEVATION A**



**ELEVATION B**



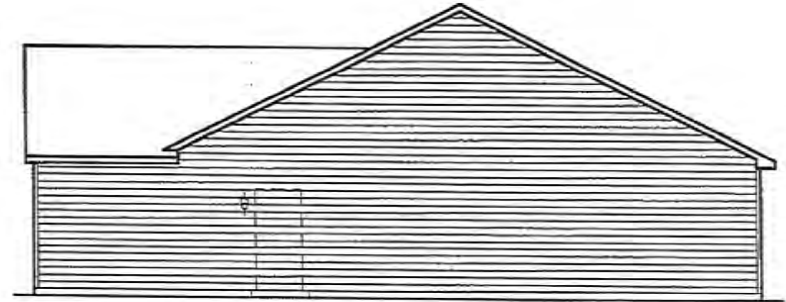
**ELEVATION C**

**6-01-16**

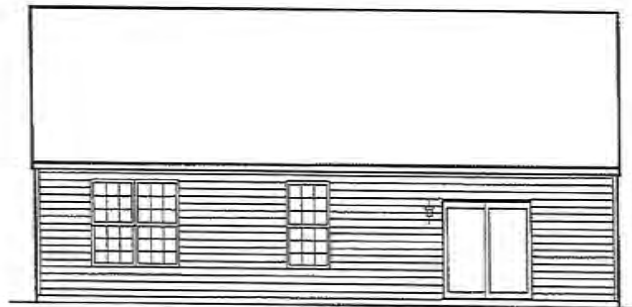
*NOTE: 12" ENES ALL 4 SIDES*



**FRONT ELEVATION**



**RIGHT ELEVATION**



**REAR ELEVATION**



**LEFT ELEVATION**

1428 SF



ELEVATION A

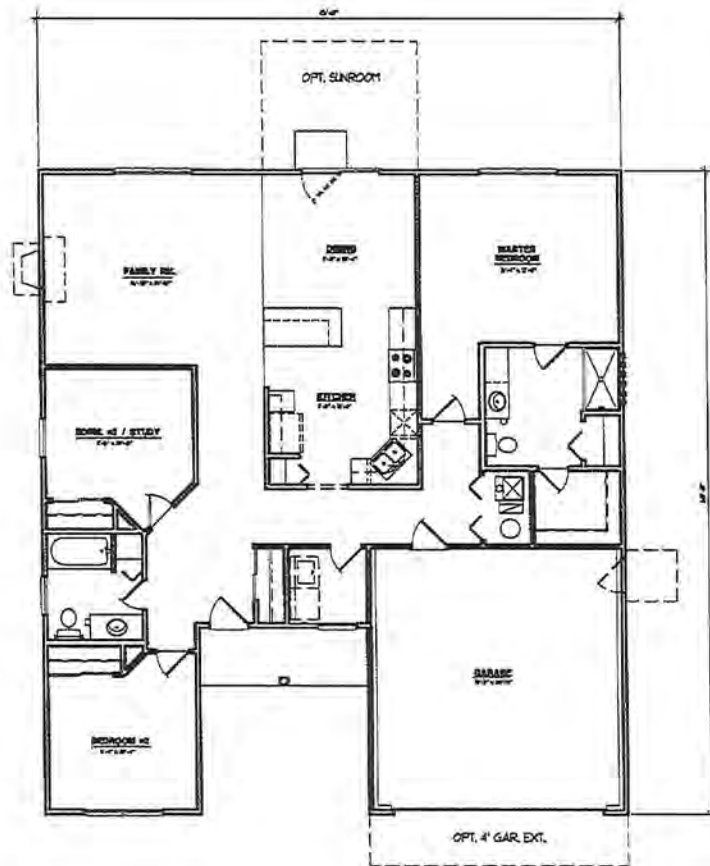


ELEVATION B



ELEVATION C

# RUTHERFORD GLENLOCH



**1ST FLOOR PLAN**  
**1649 SF.**  
**RUTHERFORD**  
**GLENLOCH**



**ELEVATION A**



**ELEVATION B**

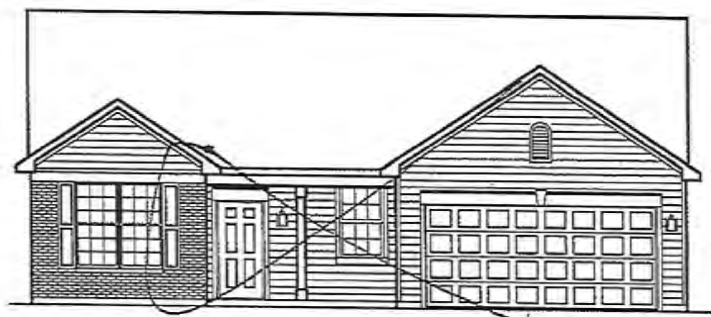


**ELEVATION C**

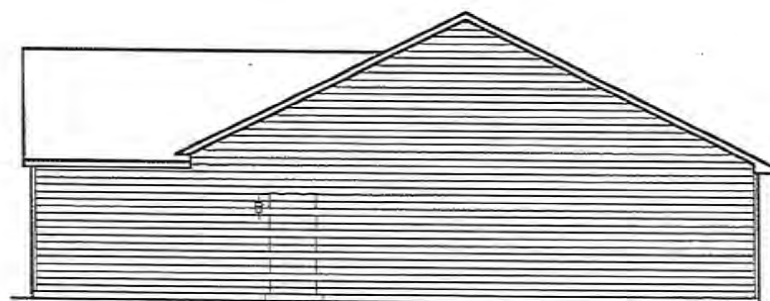
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*NOTE 12" EAVES ALL 4 SIDES*

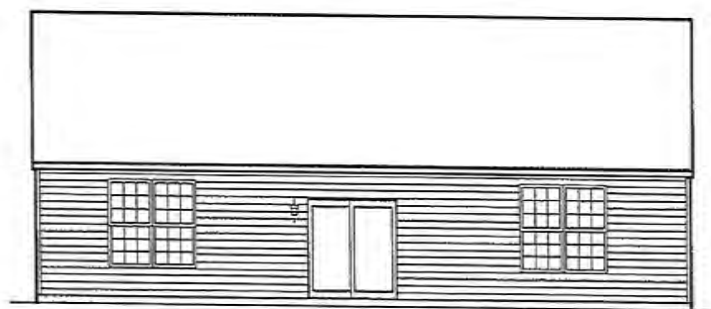




**FRONT ELEVATION**



**RIGHT ELEVATION**



**REAR ELEVATION**



**LEFT ELEVATION**

1649 SF



ELEVATION A

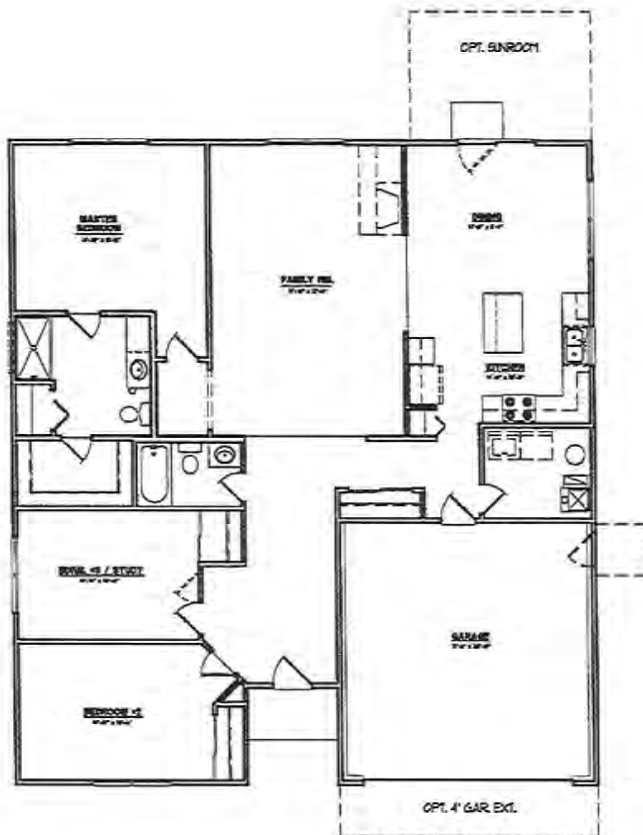


ELEVATION B



ELEVATION C

# SIENA GLENLOCH



**1ST FLOOR PLAN**  
**1792 SF.**  
**SIENA**

**GLENLOCH**



**ELEVATION A**



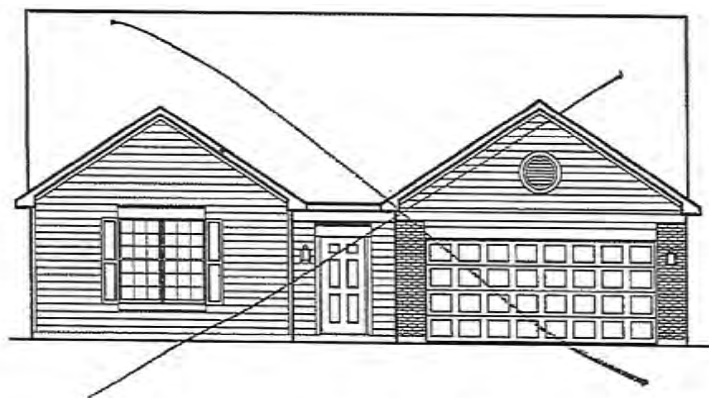
**ELEVATION B**



**ELEVATION C**

**6-01-16**

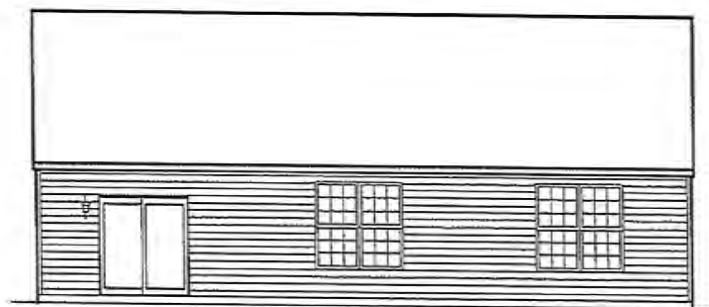
*NOTE 12" EAVES ALL 4 SIDES*



**FRONT ELEVATION**



**RIGHT ELEVATION**



**REAR ELEVATION**



**LEFT ELEVATION**

1792 SF





ELEVATION A

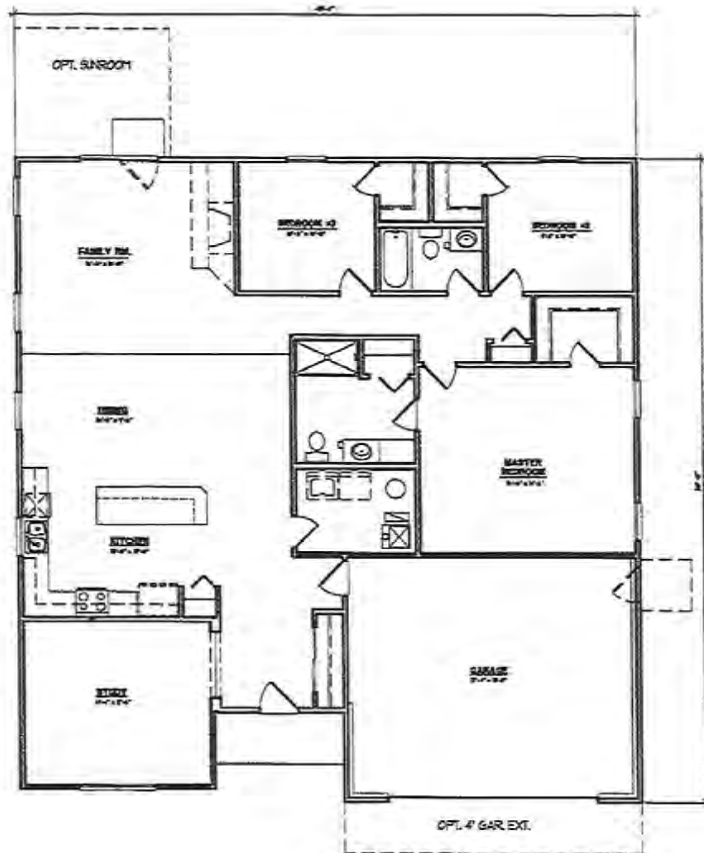


ELEVATION B



ELEVATION C

# SONOMA GLENLOCH



**1ST FLOOR PLAN  
1880 SF.  
SONOMA**

**GLENLOCH**



**ELEVATION A**



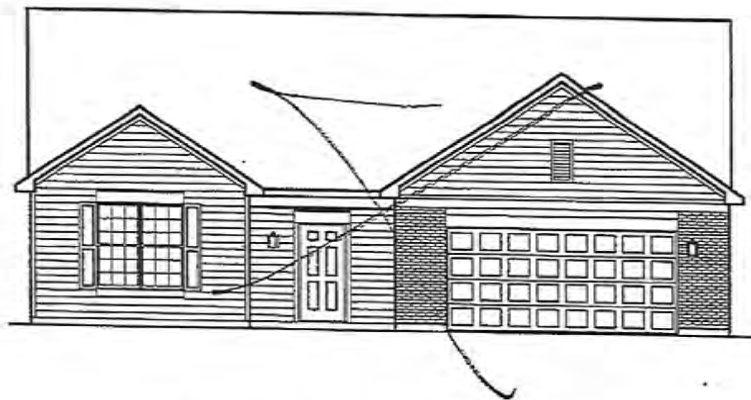
**ELEVATION B**



**ELEVATION C**

**6-01-16**

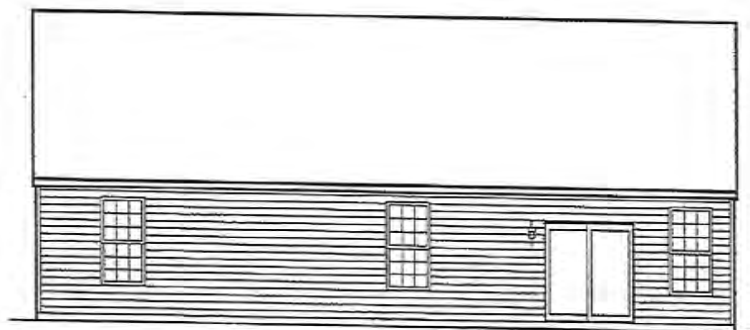
*NOTE 12" EDGES ALL 4 SIDES*



**FRONT ELEVATION**



**RIGHT ELEVATION**



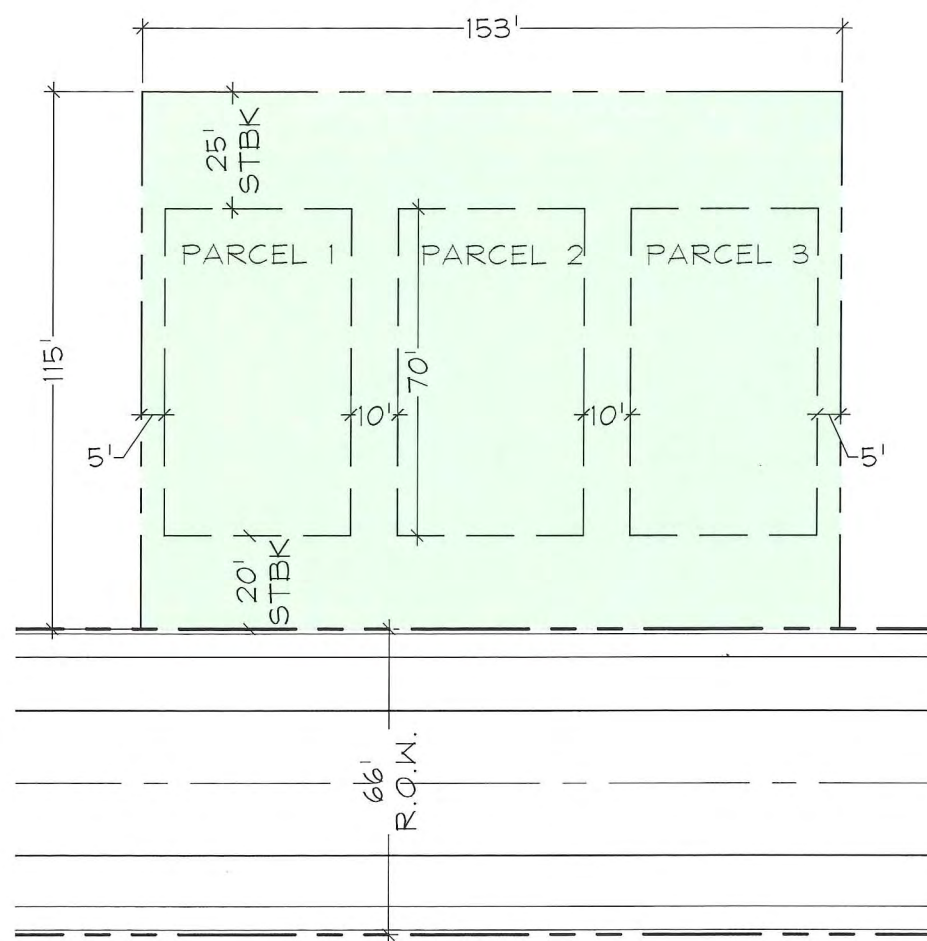
**REAR ELEVATION**



**LEFT ELEVATION**

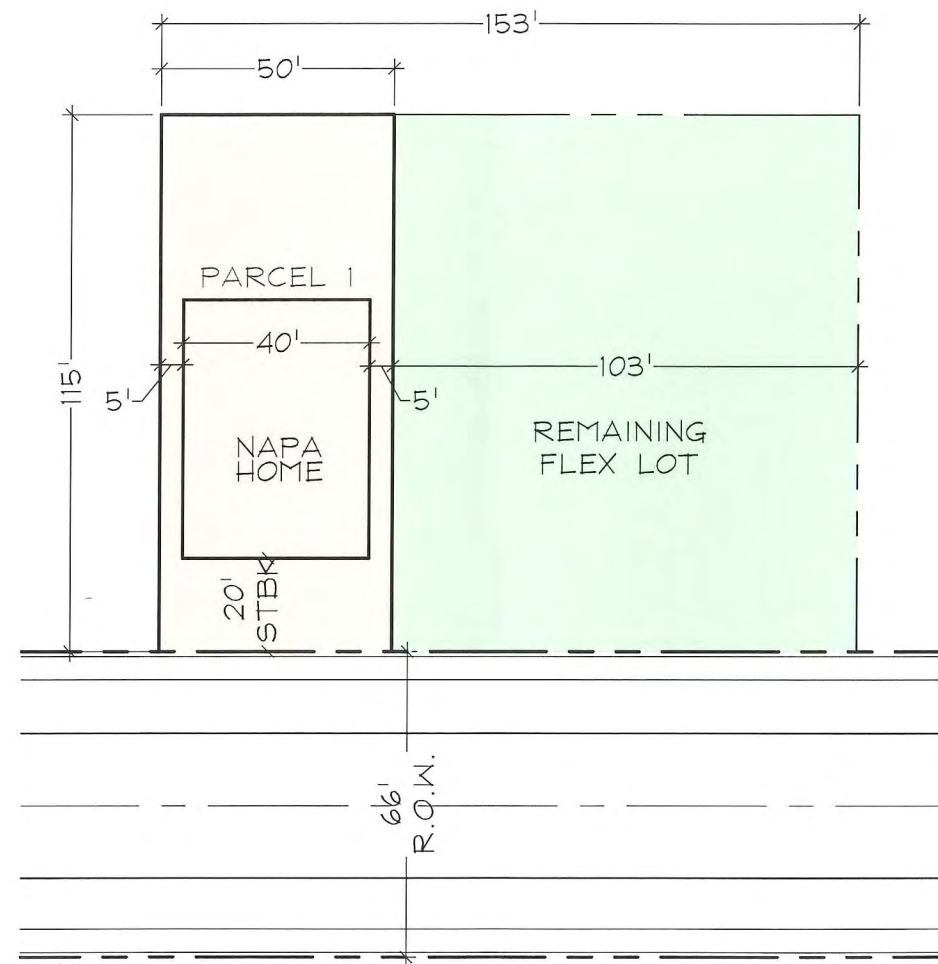
1880 SF





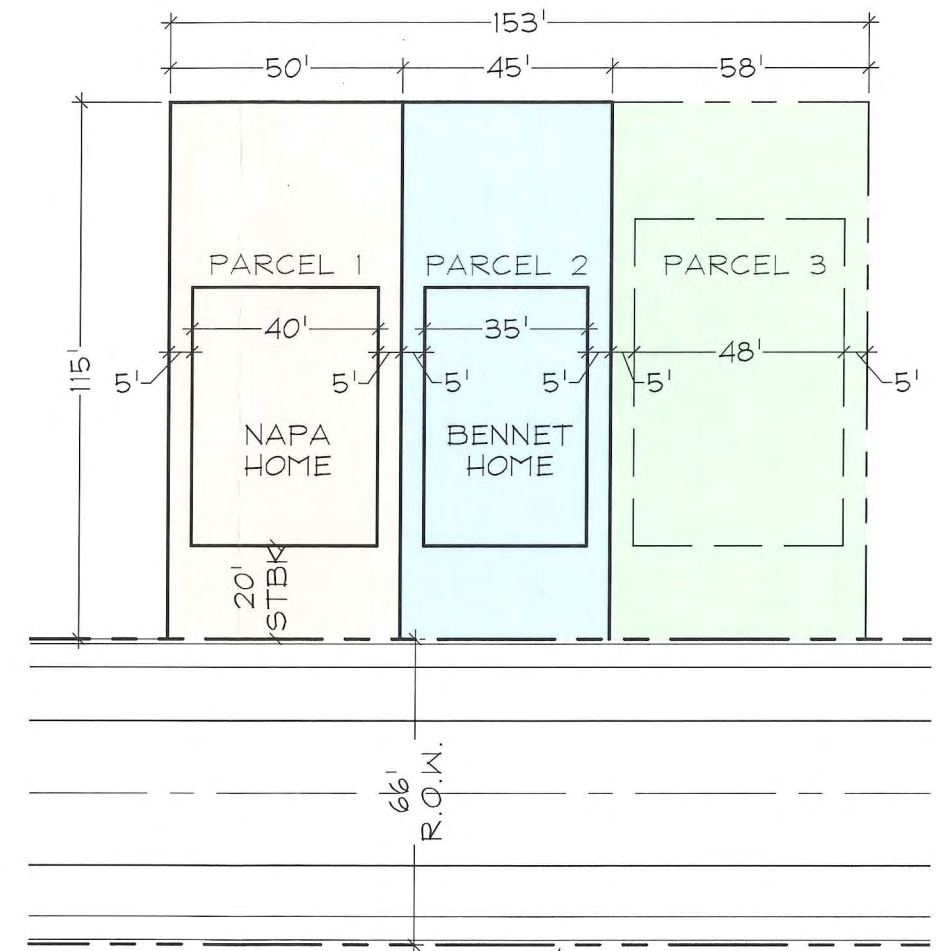
### EXHIBIT A

3 UNIT FLEX LOT AS PLATTED.



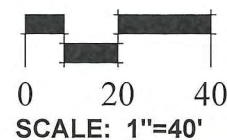
### EXHIBIT B

ONE UNIT IS BUILT, REMAINDER OF LOT REMAINS FLEXIBLE.



### EXHIBIT C

SECOND UNIT IS BUILT, REMAINDER RESERVED FOR FINAL UNIT TYPE.



**ANDARE FLEX LOTS**  
GLENLOCH OF ALGONQUIN  
ALGONQUIN, ILLINOIS

2/01/2017

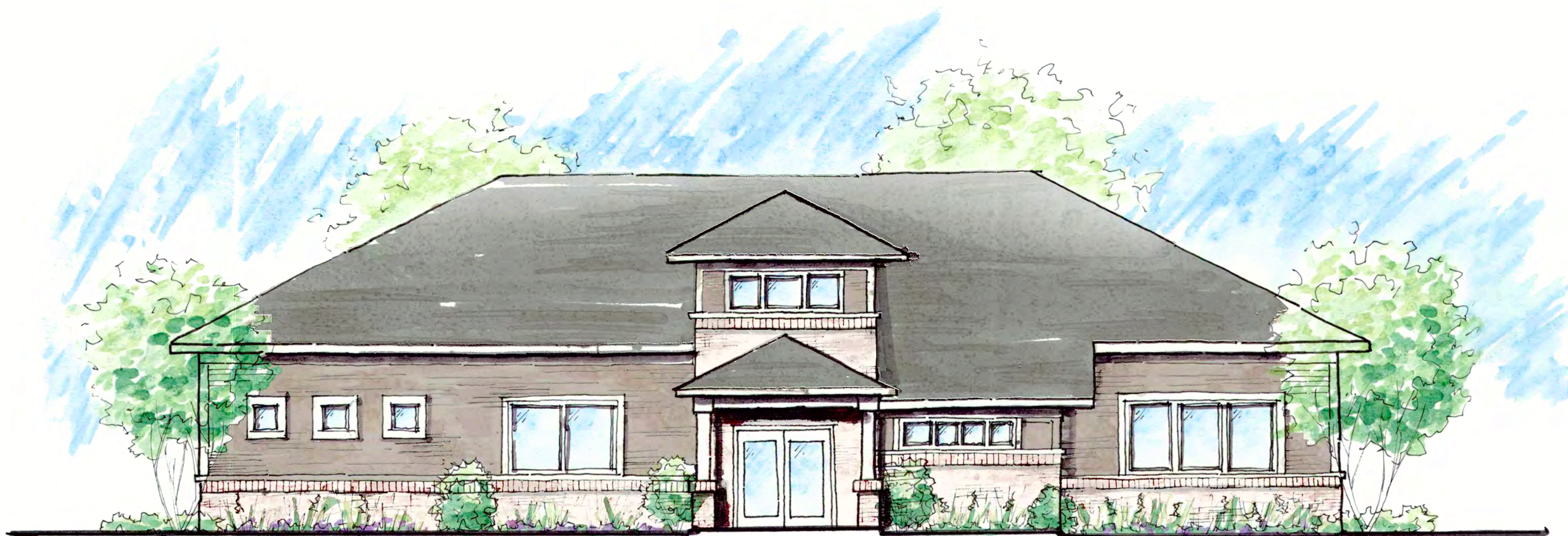
**CALATLANTIC**  
HOMES



GARY R. WEBER  
ASSOCIATES, INC.

LAND PLANNING  
ECOLOGICAL CONSULTING  
LANDSCAPE ARCHITECTURE  
212 SOUTH MAIN STREET  
WHEATON, ILLINOIS 60187  
PHONE: 630-668-7197



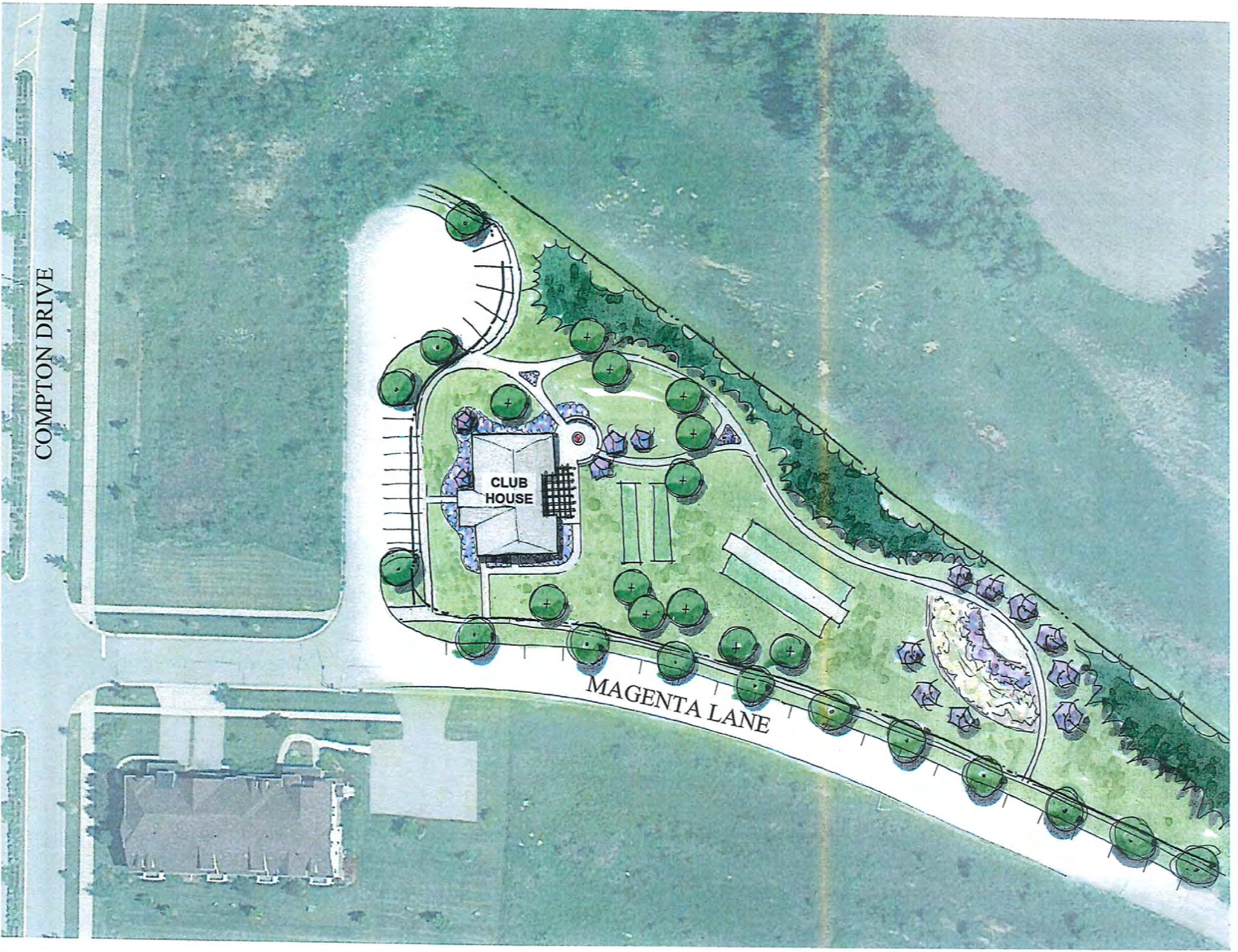




COMPTON DRIVE

CLUB  
HOUSE

MAGENTA LANE





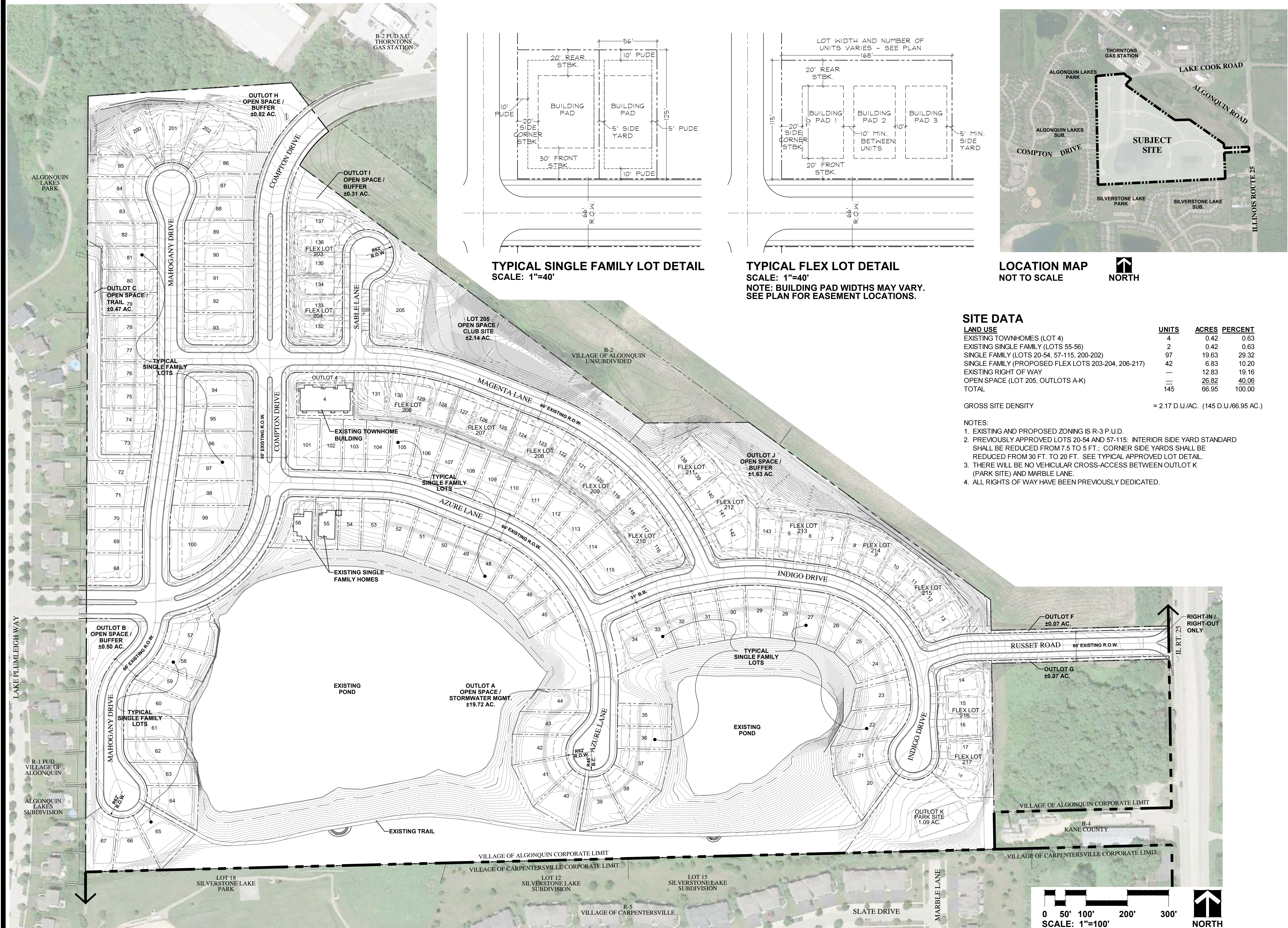
**GLENLOCH**  
ALGONQUIN, ILLINOIS

**AMENDED P.U.D. SITE PLAN**

## REVISIONS

DATE	4.05.17
PROJECT NO.	CA1626
DRAWN	GFB
CHECKED	JCT
SHEET NO.	

1 OF 1













Landscape Plan

GLENLOCH

Algonquin, Illinois

April 5, 2017

CONSULTANTS:



LANDSCAPE ARCHITECT:

GARY R. WEBER ASSOCIATES, INC  
212 SOUTH MAIN STREET  
WHEATON, ILLINOIS 60187



CONSULTANT:

MACKIE CONSULTANTS, LLC.  
9575 W. HIGGINS ROAD  
ROSEMONT, ILLINOIS 60018



LOCATION MAP

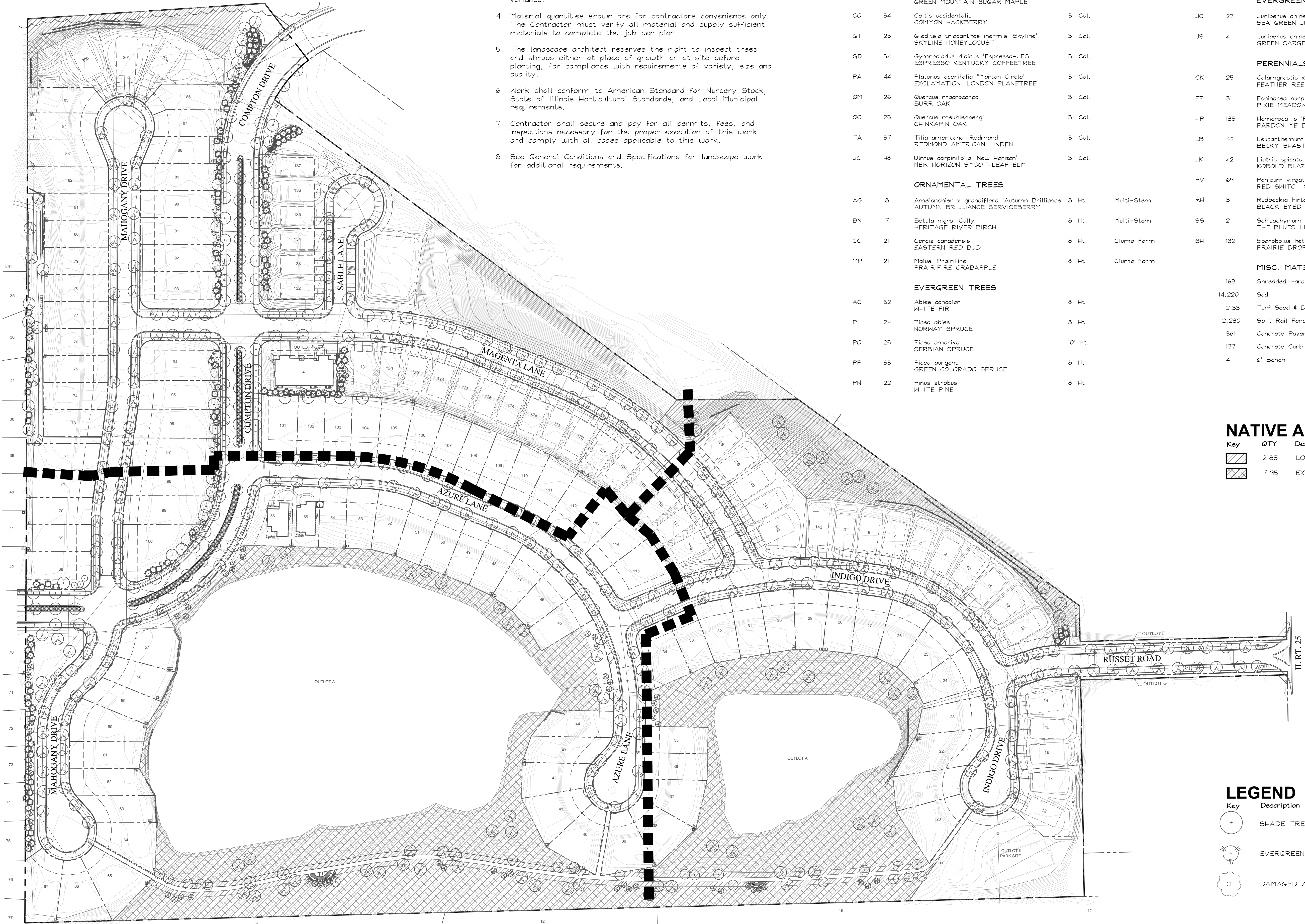
SCALE: 1"=500'

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
0	COVER SHEET
1	OVERALL LANDSCAPE PLAN
2	LANDSCAPE PLAN
3	LANDSCAPE PLAN
4	LANDSCAPE PLAN
5	COMPTON DRIVE LANDSCAPE PLAN
6	LANDSCAPE DETAILS
7	MONUMENT DETAILS & LAYOUT PLANS
8	LANDSCAPE SPECIFICATIONS







GENERAL NOTES

- Landscape Architect to flag all existing trees to remain prior to any vegetation removal.
- Contractor shall verify underground utility lines and is responsible for any damage.
- Contractor shall verify all existing conditions in the field prior to construction and shall notify landscape architect of any variance.
- Material quantities shown are for contractors convenience only. The Contractor must verify all material and supply sufficient materials to complete the job per plan.
- The landscape architect reserves the right to inspect trees and shrubs either at place of growth or at site before planting, for compliance with requirements of variety, size and quality.
- Work shall conform to American Standard for Nursery Stock, State of Illinois Horticultural Standards, and Local Municipal requirements.
- Contractor shall secure and pay for all permits, fees, and inspections necessary for the proper execution of this work and comply with all codes applicable to this work.
- See General Conditions and Specifications for landscape work for additional requirements.

PLANT LIST

Key	Qty.	Botanical/Common Name	Size	Remarks	Key	Qty.	Botanical/Common Name	Size	Remarks
SHADE TREES					DECIDUOUS SHRUBS				
AF	29	Acer x freemanii 'Jeffers Red' AUTUMN BLAZE MAPLE	3" Cal.		CS	86	Cornus sericea 'Farrow' ARCTIC FIRE RED-OSIER DOGWOOD	5 Gal./30' Tall	3' O.C.
AM	25	Acer miyabei 'Morton' STATE STREET MAPLE	3" Cal.		WF	7	Heigela florida 'Bramwell' FINE WINE WEIGELA	5 Gal./30' Wide	3' O.C.
AS	18	Acer saccharum 'Green Mountain' GREEN MOUNTAIN SUGAR MAPLE	3" Cal.		EVERGREEN SHRUBS				
CO	34	Celtis occidentalis COMMON HACKBERRY	3" Cal.		JC	27	Juniperus chinensis 'Sea Green' SEA GREEN JUNIPER	5 Gal./36' Wide	4' O.C.
GT	25	Gleditsia triacanthos inermis 'Skyline' SKYLINE HONEYLOCUST	3" Cal.		JS	4	Juniperus chinensis var. sargentii 'Viridis' GREEN SARGENT JUNIPER	5 Gal./24' Wide	4' O.C.
GD	34	Gymnocladus dioica 'Espresso-JFS' ESPRESSO KENTUCKY COFFEETREE	3" Cal.		PERENNIALS & ORNAMENTAL GRASSES				
PA	44	Platanus acerifolia 'Morton Circle' EXCLAMATION! LONDON PLANETREE	3" Cal.		CK	25	Calamagrostis x acutiflora 'Karl Foerster' FEATHER REED GRASS	#3	24" O.C.
QM	26	Quercus macrocarpa BURR OAK	3" Cal.		EP	31	Echinacea purpurea 'Pixie Meadowbrite' PIXIE MEADOWBRITE CONEFLOWER	#1	18" O.C.
QC	25	Quercus muehlenbergii CHINKAPIN OAK	3" Cal.		HP	135	Hemerocallis 'Pardon Me' PARDON ME DAYLILY	#1	18" O.C.
TA	37	Tilia americana 'Redmond' REDMOND AMERICAN LINDEN	3" Cal.		LB	42	Leucanthemum x superbum 'Becky' BECKY SHASTA DAISY	#1	18" O.C.
UC	48	Ulmus carpinifolia 'New Horizon' NEW HORIZON SMOOTHLEAF ELM	3" Cal.		LK	42	Liatris spicata 'Kobold' KOBOLD BLAZING STAR	#1	18" O.C.
ORNAMENTAL TREES					PV	69	Panicum virgatum 'Rotstrahlbusch' RED SWITCH GRASS	#3	24" O.C.
AG	18	Amelanchier x grandiflora 'Autumn Brilliance' AUTUMN BRILLIANCE SERVICEBERRY	8' Ht.	Multi-Stem	RH	31	Rudbeckia hirta BLACK-EYED SUSAN	#1	18" O.C.
BN	17	Betula nigra 'Cully' HERITAGE RIVER BIRCH	8' Ht.	Multi-Stem	SS	21	Schizachyrium scoparium 'The Blues' THE BLUES LITTLE BLUESTEM	#1	24" O.C.
CC	21	Cercis canadensis EASTERN RED BUD	8' Ht.	Clump Form	SH	132	Sporobolus heterolepis PRAIRIE DROPSIDE	#3	24" O.C.
MP	21	Malus 'Prairifire' PRAIRIFIRE CRABAPPLE	8' Ht.	Clump Form	MISC. MATERIALS				
EVERGREEN TREES						163	Shredded Hardwood Bark Mulch	C.Y.	
AC	32	Abies concolor WHITE FIR	8' Ht.			14,220	Sod	S.Y.	
PI	24	Picea abies NORWAY SPRUCE	8' Ht.			2,33	Turf Seed & DS75 Erosion Control Blanket	AC.	
PO	25	Picea americana SERBIAN SPRUCE	10' Ht.			2,230	Split Rail Fence	L.F.	
PP	33	Picea pungens GREEN COLORADO SPRUCE	8' Ht.			361	Concrete Pavers	S.F.	
PN	22	Pinus strobus WHITE PINE	8' Ht.			177	Concrete Curb	L.F.	
						4	6' Bench	EA.	

NATIVE AREA LEGEND

Key	QTY	Description
	2,85	LOW-MOW FESCUE SEED MIX
	7.95	EXISTING NATURALIZED AREAS

LEGEND

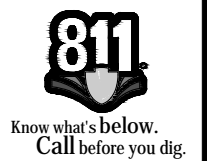
Key	Description
	SHADE TREE TO BE PRESERVED
	EVERGREEN TREE TO BE PRESERVED
	DAMAGED / DEAD SHADE TREE TO BE REMOVED

**GRWA**  
GARY R. WEBER  
ASSOCIATES, INC.  
LAND PLANNING  
ECOLOGICAL CONSULTING  
LANDSCAPE ARCHITECTURE  
212 SOUTH MAIN STREET  
WHEATON, ILLINOIS 60187  
PHONE: 630-668-7197

CLIENT  
**CALATLANTIC**  
HOMES  
1141 E. MAIN STREET  
SUITE 108  
EAST DUNDEE, ILLINOIS 60118  
ENGINEER  
**MACKIE CONSULTANTS, LLC.**  
9575 W. HIGGINS ROAD  
SUITE 500  
ROSEMONT, IL 60018

**GLENLOCH**  
ALGONQUIN, ILLINOIS  
**OVERALL LANDSCAPE PLAN**

REVISIONS  
DATE 4.05.17  
PROJECT NO. CA1626  
DRAWN GFB  
CHECKED JCT  
SHEET NO.  
**1 OF 8**





**VILLAGE OF ALGONQUIN  
PLANNING AND ZONING COMMISSION  
Meeting Minutes  
William J. Ganek Municipal Center-Board Room  
May 8, 2017  
7:30 p.m.**

**AGENDA ITEM 1:** Roll Call to Establish a Quorum  
Present: Chairperson Patrician, Commissioners Laipert, Neuhalphen, Postelnick, Sturznickel, and Szpekowski.

Absent: Commissioner Hoferle.

Staff Members Present: Russ Farnum, Community Development Director; Ben Mason, Senior Planner; and Kelly Cahill, Village Attorney.

**AGENDA ITEM 2:** Approval of Minutes from the April 10, 2017 Meeting.  
A motion by Commissioner Neuhalphen to approve the April 10, 2017 minutes as presented was seconded by Commissioner Sturznickel and a voice vote noted all ayes. The motion carried.

**AGENDA ITEM 3:** Public Comment  
There was no one wishing to make any public comment.

**AGENDA ITEM 4:** Request for a Final PUD Amendment and Plat of Resubdivision  
**Case No. 2017-04 Glenloch Subdivision**  
Petitioner: Bill Robinson, CalAtlantic

**OPEN PUBLIC HEARING AND ESTABLISH QUORUM**

Mr. Mason called roll to verify a quorum. Present: Chairperson Patrician; Commissioners Laipert, Neuhalphen, Postelnick, Sturznickel, and Szpekowski. Absent: Commissioner Hoferle. Mr. Mason announced a quorum was present.

**PETITIONER COMMENTS**

Ms. Cahill verified that proper notice of the meeting had been posted, and swore in the petitioner. Representing the petitioner were Bill Robinson, CalAtlantic; Anthony Martini, Mackie Consultants; J.L. Cherwin, MPS Law.

Mr. Robinson summarized that CalAtlantic is proposing to build out the Glenloch subdivision as an age-restricted community and is requesting a few modifications to the original PUD approval to make the development more marketable. The changes include converting the remainder of the townhome lots to single family homes on flex lots, adding the age restriction to the new single family flex lots, eliminating plans for an affordable condominium building, and relocating the community clubhouse to a more central location within the subdivision. Overall, the residential unit count will decrease from the 162 that were originally approved down to 146. All the new homes will be single-story ranch houses, ranging in size from 1220 to 2170 square feet. The one townhome building and two single family homes that the previous developer built but were never occupied will remain.

## **STAFF COMMENTS**

Mr. Farnum summarized Community Development's staff memorandum. He reiterated the developer's proposal for building out the subdivision, which would involve all new single family home construction due to the lack of a market for townhomes. The entire development would be age-restricted 55 and over. The developer is requesting slightly smaller side yards to accommodate their range of models, and staff supports the proposed reduction from 7 to 5 ½ feet setbacks from the side lot lines which will still comply with building and fire codes. Additionally, the front yards on the flex lots will be reduced from 30 to 25 feet in order to accommodate the ranch home footprints; staff does not have concerns about the slightly shorter driveways as the homes all will have attached garages and it is likely the senior residents will have fewer cars than the average single family household with kids. In lieu of the developer building the affordable condominium building, the village negotiated for the developer to instead install a watermain interconnect to Carpentersville which is a project that will be a significant benefit to the village's infrastructure needs. This development will be the first in the village to add sprinkler heads inside the homes, with one in the furnace room and a second in the garage or kitchen.

## **COMMISSION QUESTIONS/COMMENTS**

Chairperson Patrician inquired if there were any Commissioner questions or comments.

Commissioner Sturznickel asked for clarification on the flex lot design, to which Mr. Robinson explained each initial parcel can accommodate up to three single family homes and the first house to be built helps to determine the size and property lines of the other two house lots.

Commissioner Laipert asked if the homes will have basements, to which Mr. Robinson explained the homes will either be built on slabs, have basements, or offer walk outs. Commissioner Laipert asked what are the minimum and maximum lot sizes, to which Mr. Martini stated the lot widths will range from 46 to 61 feet wide. Commissioner Laipert asked what if a buyer wants a smaller model home on a larger lot, to which Mr. Martini explained a database matrix has been created to provide homebuyers with a list of potential house models that can be built on each lot and Mr. Robinson clarified that the village's anti-monotony standards will also be taken into consideration when informing buyers about options for each lot.

Commissioner Postelnick asked what will happen to the one townhome building that was constructed by the previous developer, to which Mr. Robinson explained it will remain as part of the subdivision as it is in good condition.

Commissioner Szpekowski asked what the price range will be for the homes, to which Mr. Robinson said the average sale price is anticipated to be around \$235,000. Commissioner Szpekowski asked about the materials that will be used on the homes' exteriors, to which Mr. Robinson explained there will be brick and siding and Mr. Farnum clarified that the materials will be consistent with the original PUD approval which required brick on the front facades and allowed vinyl siding on the sides and rear of the homes. Commissioner Szpekowski asked why the developer is requesting narrower side yards, to which Mr. Farnum stated the proposed ranch homes have a larger footprint than the original townhome units.

Chairperson Patrician asked what amenities will be in the community clubhouse, to which Mr. Robinson explained there will be a meeting room, kitchen, fitness center and there will also be outdoor spaces.

Chairperson Patrician asked if staff is comfortable with the smaller front yards the developer is proposing on the flex lots, to which Mr. Farnum stated yes 25 feet will still provide sufficient depth for the driveways and it is unlikely parking would become an issue.

#### **PUBLIC COMMENT**

Chairperson Patrician called for public comments. There was no one from the public wishing to make any comments, so Chairperson Patrician closed public comments.

#### **CLOSE PUBLIC COMMENT**

#### **COMMISSION MOTION ON PETITION**

Chairperson Patrician entertained a motion to approve the request for Final PUD Amendment and Plat of Resubdivision for Glenloch. Commissioner Postelnick made a motion and Commissioner Sturznickel seconded a motion to recommend approval of the request for Final PUD Amendment and Plat of Resubdivision, consistent with the plans submitted by the petitioner, the findings of fact listed in the staff report and the conditions recommend by staff with the changes to those conditions as stated: the front yard setbacks shall not be less than 25 feet on the replatted townhome "Flex Lots" and Lot 19; side yard setbacks shall not be less than 5½ feet for all lots.

The Roll Call noted the following: Ayes: Chairperson Patrician; Commissioners Laipert, Neuhalphen, Postelnick, Sturznickel and Szpekowski. Nays: None. Absent: Hoferle. Motion carried 6-0.

#### **CLOSE PUBLIC HEARING**

#### ***AGENDA ITEM 5:*** New/Old Business

Commissioners asked staff for updates on Longmeadow Parkway and Riverside Plaza.

#### ***AGENDA ITEM 6:*** Adjournment

A motion to adjourn the meeting was made by Commissioner Neuhalphen and seconded by Commissioner Szpekowski, a voice vote noted all ayes. The motion carried and the meeting was adjourned at 8:05 p.m.

Respectfully Submitted,

Benjamin A. Mason, AICP  
Senior Planner



**VILLAGE OF ALGONQUIN**  
*GENERAL SERVICES ADMINISTRATION*

**– M E M O R A N D U M –**

DATE: May 9, 2017

TO: Tim Schloneger

FROM: Michelle Weber

SUBJECT: *Amending Appendix F, Chapter 22 of the Municipal Code*

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As advised by our attorney, Kelly Cahill, it was recommended that we change out the Letter of Credit portion of Chapter 22, Algonquin Subdivision Ordinance, Appendix F, Letter of Credit Form, to include the following updated language:

- Remove: “subject to the Uniform Customs and Practice for Documentary Credits (1998 Revision or most current version) International Chamber of Commerce Publication ISP98 (“UCP”) except that, as to matters not governed by the UCP,…”
- Replace with: “subject to the International Standby Practices (“ISP98”), as most recently published on the date of this Letter of Credit, by the International Chamber of Commerce, except that, as to matters not governed by ISP98…”

I have included a revised version of Appendix F for your review.

**ORDINANCE NO. 2017 - O - \_\_*****An Ordinance Amending Chapter 22, Subdivision Regulations  
of the Algonquin Municipal Code Regarding Letter of Credit Form***

**WHEREAS**, the Village of Algonquin, McHenry and Kane counties, Illinois, is a home rule municipality as contemplated under Article VII, Section 6, of the Constitution of the State of Illinois, and the passage of this Ordinance constitutes an exercise of the Village's home rule powers and functions as granted in the Constitution of the State of Illinois.

**NOW, THEREFORE, BE IT ORDAINED** by the President and Board of Trustees of the VILLAGE OF ALGONQUIN, McHenry and Kane counties, Illinois, as follows:

**SECTION 1:** Appendix F, Letter of Credit Form, in Chapter 22, Subdivision Regulations, of the Algonquin Municipal Code is hereby repealed.

**SECTION 2:** Chapter 22, Subdivision Regulations, of the Algonquin Municipal Code shall be amended to add Appendix F, Letter of Credit Form, attached hereto and made a part hereof.

**SECTION 3:** If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be adjudged by any Court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate or nullify the remainder thereof, which remainder shall remain and continue in full force and effect.

**SECTION 4:** All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

**SECTION 5:** This Ordinance shall be in full force and effect upon its passage, approval and publication in pamphlet form (which publication is hereby authorized) as provided by law.

Voting Aye:

Voting Nay:

Abstain:

Absent:

APPROVED:

(SEAL)

\_\_\_\_\_  
Village President John C. Schmitt

ATTEST: \_\_\_\_\_  
Village Clerk Gerald S. Kautz

Passed: \_\_\_\_\_

Approved: \_\_\_\_\_

Published: \_\_\_\_\_



**APPENDIX F**  
**LETTER OF CREDIT FORM**

**(This form must be used verbatim, please fill in the blanks and make selections)**

**BENEFICIARY:**

Village of Algonquin  
2200 Harnish Drive  
Algonquin, IL 60102

Date:

By the order of Applicant:

(Name):

(Address):

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We hereby issue in your favor our Irrevocable Stand-by Letter of Credit No. \_\_\_\_\_  
“Letter of Credit” for the account of \_\_\_\_\_ (Applicant) for an amount or amounts not to  
exceed in the aggregate US dollars \_\_\_\_\_ (Amount) available at sight upon  
presentation of a written demand signed by one of the following officers of the Village of  
Algonquin: President, Village Manager, Village Clerk, Deputy Village Clerk, or Village  
Treasurer, signed as such, stating as follows:

“The amount of \$\_\_\_\_\_ (US Dollars only) is hereby drawn under  
\_\_\_\_\_ (name of issuer bank) Letter of Credit Number \_\_\_\_\_ in  
accordance with the terms of:

1. An annexation agreement between \_\_\_\_\_ (name of  
developer or applicant) and the Village of Algonquin, with regard to  
\_\_\_\_\_ (development or subdivision name), and  
\_\_\_\_\_ (name of developer or applicant) is in default  
thereunder;
2. A Public Improvements Completion Agreement dated \_\_\_\_\_ between  
Applicant and the Village of Algonquin, and \_\_\_\_\_  
\_\_\_\_\_ (name of developer or applicant) is in default thereunder;
3. An agreement between the Village of Algonquin and \_\_\_\_\_  
(name of developer or applicant), dated \_\_\_\_\_, and  
\_\_\_\_\_ (name of developer or applicant) is in default thereunder;
4. The Village Subdivision Control Ordinance and that \_\_\_\_\_  
(name of developer or applicant) is in violation of the Village; or

5. \_\_\_\_\_ (name of developer or applicant) has failed to deliver to the Village satisfactory evidence of renewal of Letter of Credit No. \_\_\_\_\_ and that the Letter of Credit will expire within 60 days or less.

The principal amount of the Letter of Credit may be reduced, prior to the then current expiration date, upon presentation of a written statement from the Village of Algonquin, signed by the President or the Manager of the Village of Algonquin, certifying the dollar amount of such reduction, which shall not be more than the remaining unpaid principal balance of this Letter of Credit, and that the reduction in the amount requested is permitted pursuant to the recommendation of the Village Engineer. In the event the \_\_\_\_\_ (developer/applicant) is in default under the Public Improvements Completion Agreement for not completing one or more of the public improvements within the timeframes required in said Agreement, then any request for a reduction shall be accompanied by a revised Engineers Opinion of Probable Costs outlining the estimated costs of the remaining improvements covered by this Letter of Credit No. \_\_\_\_\_, and in no case shall this Letter of Credit be reduced to an amount less than One Hundred Twenty Percent (120%) of those remaining improvements.

This Letter of Credit shall expire on the date referenced above only if we provide written notice, at least sixty (60) days prior to the expiration date, to the Village Clerk at the address shown above by certified mail or hand-delivered courier that we elect not to extend this Letter of Credit for any additional period.

We hereby agree with Beneficiary that if, on or before the Expiration Date, any such draft and any such certificate is presented to us at our Illinois office as specified under this Letter of Credit, at or prior to 10:00 a.m. \_\_\_\_\_ (city of opening bank) on a business day, and provided that such documents presented to us conform with the terms and conditions hereof, payment shall be effected in immediately available funds by certified funds or wire transfer in accordance with the instructions set forth on such certificate by the close of the next following business day. A business day shall mean any day other than a Saturday, Sunday or a day on which banking institutions in the City of Chicago are authorized or required by law to close.

If a demand for payment by you hereunder does not, in any respect, conform to the terms and conditions of this Letter of Credit, we will give prompt notice that the demand for payment was not submitted in accordance with the terms and conditions of this Letter of Credit, we will state the reasons therefore and will upon your instructions hold any documents at your disposal or return the same to you. Upon being notified with detail that the demand for payment does not conform with the terms and conditions of this Letter of Credit, you may attempt to correct any such non-conforming demand for payment to the extent that you are able to do so on or before the Expiration Date.

If, within three days after any draft drawn under this Letter of Credit is presented to us in conformance with the terms of this Letter of Credit, we fail to honor it, we agree to pay all attorney's fees, court costs, and other expenses incurred by the Village in enforcing the terms hereof.

This Letter of Credit sets forth in full the terms of our undertaking and such undertaking shall not

in any way be modified, amended, or amplified by reference to any document or instrument referred to herein or in which this Letter of Credit is referred to or to which this Letter of Credit relates and any such reference shall not be deemed to incorporate herein by reference any document or instrument.

Any controversy or claim arising out of or relating to this Letter of Credit, or the breach thereof, shall be settled by binding arbitration administered by the American Arbitration Association under its Commercial Arbitration Rules or JAMS Dispute Resolution as determined in your discretion, at the William J. Ganek Municipal Center, 2200 Harnish Drive, Algonquin, Illinois, 60102, and judgment on the award rendered by the arbitrator may be entered in any court having jurisdiction thereof. The Village may elect, at its exclusive option, to file suit by litigation rather than arbitration and to enforce equitable remedies such as injunctive relief. Issuing Bank agrees that an arbitration award by default may be entered upon it failing to appear or defend itself in any arbitration proceeding.

In the event of arbitration or litigation of this Letter of Credit between the Village and Issuing Bank and Applicant, the Issuing Bank and/or Applicant shall pay all expenses incurred by the Village in the said proceeding, including, but not limited to attorneys' fees, filing costs, witness fees, and other general expenses of the proceeding.

Partial draws are permitted under this Letter of Credit.

To the extent not inconsistent with the express terms hereof, this Letter of Credit is issued subject to the *International Standby Practices* ("ISP98"), as most recently published on the date of this Letter of Credit, by the International Chamber of Commerce, except that, as to matters not governed by ISP98, this Letter of Credit shall be governed by and construed in accordance with the laws of the State of Illinois, without giving effect to principles of conflicts of laws.

Please address all correspondence regarding this Letter of Credit to the attention of \_\_\_\_\_ (specify name of issuing bank contact or department name along with full address and phone number), mentioning our reference number as it appears above.

[signature block of issuer]



**VILLAGE OF ALGONQUIN**  
*PUBLIC WORKS DEPARTMENT*

**– M E M O R A N D U M –**

DATE: May 18, 2017

TO: Tim Schloneger, Village Manager

FROM: Michele Zimmerman, Assistant Public Works Director

SUBJECT: *Rock Salt Bid*

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Bids were opened on May 9, 2017, for the purchase of bulk rock salt for the 2017-18 winter season. The Village participated in a joint bid for this material, which was led by the McHenry County Highway Department and included four other communities.

Two bids were received for this material purchase. Compass Minerals America, Inc. out of Overland, KS was the low bidder for the product that Algonquin uses, which is enhanced (or treated) rock salt. This is chemically treated salt that lowers its melting temperature so that it is more effective when it is applied. The Compass bid came in at \$68.46 per ton which is \$1.38 cheaper than last year's price.

The attached bid tabulation shows the bid pricing. McHenry County bids out both enhanced (treated) and untreated salt so I have highlighted our chosen bid option under the treated salt section. We are choosing just the base bid (1 year) option and not any of the multi-year options as we have found that pricing tends to be cheaper when bid for one year. (As noted above in the \$1.38 price difference from last year)

Our typical salt usage in a regular winter season averages 2,500 tons. The bid specification for last year's salt required that each community had to purchase exactly the quantity they asked for in the bid, and could not purchase any more that they asked for in the bid. Therefore, we purchased 3,000 tons. Even though this past winter was relatively mild, temperature fluctuations at or around freezing required numerous salting only call outs, resulting in the use of 1,800 tons of salt. The remaining balance of 1,200 is stored in our salt dome at the Public Works Facility.

We again asked for 3,000 tons of salt in this current bid. However, the bid specifications were changed so that we are only required to purchase 80% of our bid quantity and we can purchase up to 120% over our bid quantity. If we have another mild winter and assume we will only use 1,800 tons again, we are only required to purchase 80% of our 3,000 tons or 2,400 tons. This would leave us with 2,400 tons plus whatever is left over from the previous year.

I have shown the calculations below so that you can understand how the salt purchase rolls from season to season and allows us to keep a sufficient amount in storage. Our salt dome holds 2,800 tons so keeping the storage adequate is essential in case the first storms of the snow season are severe, span multiple days, or occur frequently.

**2016-17 Salt**

In storage form	
previous season	1,000 ton
Purchased	3,000 ton
Used	<u>-1,800 ton</u>
Now in storage	2,200 ton

**2017-18 Salt**

Now in storage	2,200 ton
Minimum purchase	2,400 ton
Anticipated use (mild)	<u>-1,800 ton</u>
Anticipated storage	2,800 ton

Money was budgeted for this in the MFT Fund under the Materials line items. Compass Minerals was our salt provider last winter and there were no issues with their product or service. Therefore, it is our recommendation that the Committee of the Whole take action to move this matter forward to the Village Board for approval of Compass Minerals America, Inc. as the supplier for this material at a bid price of \$68.46 per ton.

**SUMMARY SHEET**  
**County of McHenry Purchasing Dept**

**Date:** 05/09/2017 @ 2:00  
**Bid/RFP:** Bid 17-18 Bulk Enhanced Rock Salt & Bulk Rock Salt

	Vendor	Vendor	Vendor	Vendor	Vendor	Vendor
Vendor	Cargill	Compass	Detroit Salt	Morton Salt		
City / State	North Olmsted OH	Overland Park KS	Detroit MI	Chicago IL		
ORIGINAL SIGNATURE	YES	<u>YES</u>	<u>YES</u>	YES		
MANDATORY PAGES	YES	<u>YES</u>	<u>YES</u>	YES		
BID BOND?	YES	<u>YES</u>	<u>YES</u>	YES		
<b>BULK ROCK SALT (UNTREATED)</b>						
<b>FOUR (4) YEAR LUMP SUM BID 12/01/17 – 6/30/21</b>						
Village of Lake in the Hills, 4,000 Ton		<u>67.72</u>		63.79		
City of McHenry, 6,000 Ton		<u>68.71</u>		65.07		
Village of Oakwood Hills, 800 Ton		<u>67.30</u>		63.79		
Village of Greenwood, 400 Ton		<u>68.51</u>		66.17		
TOTAL	\$0.00	\$272.24	\$0.00	\$258.82	\$0.00	\$0.00
<b>ALTERNATE BID I: BASE TWO (2) YEAR BID 12/01/17 – 6/30/19</b>						
Village of Lake in the Hills, 2,000 Ton		<u>56.51</u>		63.79		
City of McHenry, 3,000 Ton		<u>57.33</u>		65.07		
Village of Oakwood Hills, 400 Ton		<u>56.16</u>		63.79		
Village of Greenwood, 200 Ton		<u>57.17</u>		66.17		
TOTAL	\$0.00	\$227.17	\$0.00	\$258.82	\$0.00	\$0.00
<b>ALTERNATE BID I: OPTIONAL TWO (2) YEARS 12/01/19 – 6/30/21</b>						
Village of Lake in the Hills, 2,000 Ton		<u>60.51</u>		63.79		
City of McHenry, 3,000 Ton		<u>61.33</u>		65.07		
Village of Oakwood Hills, 400 Ton		<u>60.16</u>		63.79		

**UNOFFICIAL RESULTS**



**SUMMARY SHEET**  
**County of McHenry Purchasing Dept**

**Date:** 05/09/2017 @ 2:00  
**Bid/RFP:** Bid 17-18 Bulk Enhanced Rock Salt & Bulk Rock Salt

Village of Greenwood, 200 Ton		<u>61.17</u>		66.17		
TOTAL	\$0.00	\$243.17	\$0.00	\$258.82	\$0.00	\$0.00
<b>ALTERNATE BID II: BASE TWO (2) YEAR BID 12/01/17 – 6/30/19</b>						
Village of Lake in the Hills, 2,000 Ton		<u>56.51</u>		63.79		
City of McHenry, 3,000 Ton		<u>57.33</u>		65.07		
Village of Oakwood Hills, 400 Ton		<u>56.16</u>		63.79		
Village of Greenwood, 200 Ton		<u>57.17</u>		66.17		
TOTAL	\$0.00	\$227.17	\$0.00	\$258.82	\$0.00	\$0.00
<b>ALTERNATE BID II: OPTION YEAR THREE (3) 12/01/19 – 6/30/20</b>						
Village of Lake in the Hills, 1,000 Ton		<u>59.51</u>		63.79		
City of McHenry, 1,500 Ton		60.33		65.07		
Village of Oakwood Hills, 200 Ton		59.61		63.79		
Village of Greenwood, 100 Ton		60.17		66.17		
TOTAL	\$0.00	\$239.62	\$0.00	\$258.82	\$0.00	\$0.00
<b>ALTERNATE BID II: OPTION YEAR FOUR (4) 12/01/20 – 6/30/21</b>						
Village of Lake in the Hills, 1,000 Ton		63.51		63.79		
City of McHenry, 1,500 Ton		64.33		65.07		
Village of Oakwood Hills, 200 Ton		63.16		63.79		
Village of Greenwood, 100 Ton		64.17		66.17		
TOTAL	\$0.00	\$255.17	\$0.00	\$258.82	\$0.00	\$0.00
<b>ALTERNATE BID III: BASE BID 12/01/17 – 6/30/18</b>						
Village of Lake in the Hills, 1,000 Ton	74.61	54.94	58.63	63.79		
City of McHenry, 1,500 Ton	75.83	55.74	59.31	65.07		

**UNOFFICIAL RESULTS**

**SUMMARY SHEET**  
**County of McHenry Purchasing Dept**

**Date:** 05/09/2017 @ 2:00  
**Bid/RFP:** Bid 17-18 Bulk Enhanced Rock Salt & Bulk Rock Salt

Village of Oakwood Hills, 200 Ton	77.94	54.60	58.27	63.79		
Village of Greenwood, 100 Ton	78.66	55.58	59.31	66.17		
<b>TOTAL</b>	<b>\$307.04</b>	<b>\$220.86</b>	<b>\$235.52</b>	<b>\$258.82</b>	<b>\$0.00</b>	<b>\$0.00</b>
<b>ALTERNATE BID III: OPTION YEAR TWO (2) - 12/01/18 – 6/30/19</b>						
Village of Lake in the Hills, 1,000 Ton		56.94	60.39	63.79		
City of McHenry, 1,500 Ton		57.74	61.09	65.07		
Village of Oakwood Hills, 200 Ton		56.60	60.02	63.79		
Village of Greenwood, 100 Ton		57.58	61.09	66.17		
<b>TOTAL</b>	<b>\$0.00</b>	<b>\$228.86</b>	<b>\$242.59</b>	<b>\$258.82</b>	<b>\$0.00</b>	<b>\$0.00</b>
<b>ALTERNATE BID III: OPTION YEAR THREE (3) - 12/01/19– 6/30/20</b>						
Village of Lake in the Hills, 1,000 Ton		59.94	63.41	63.79		
City of McHenry, 1,500 Ton		60.74	64.14	65.07		
Village of Oakwood Hills, 200 Ton		59.60	63.02	63.79		
Village of Greenwood, 100 Ton		60.58	64.14	66.17		
<b>TOTAL</b>	<b>\$0.00</b>	<b>\$240.86</b>	<b>\$254.71</b>	<b>\$258.82</b>	<b>\$0.00</b>	<b>\$0.00</b>
<b>ALTERNATE BID III: OPTION YEAR FOUR (4) - 12/01/20– 6/30/21</b>						
Village of Lake in the Hills, 1,000 Ton		63.94	66.58	63.79		
City of McHenry, 1,500 Ton		64.74	67.35	65.07		
Village of Oakwood Hills, 200 Ton		63.60	66.17	63.79		
Village of Greenwood, 100 Ton		64.58	67.35	66.17		
<b>TOTAL</b>	<b>\$0.00</b>	<b>\$256.86</b>	<b>\$267.45</b>	<b>\$258.82</b>	<b>\$0.00</b>	<b>\$0.00</b>
<b>GRAND TOTAL BULK ROCK SALT (UNTREATED)</b>	<b>\$307.04</b>	<b>\$2,411.98</b>	<b>\$1,000.27</b>	<b>\$2,588.20</b>	<b>\$0.00</b>	<b>\$0.00</b>
<b>ENHANCED (TREATED) BULK ROCK SALT</b>						

**UNOFFICIAL RESULTS**

**SUMMARY SHEET**  
**County of McHenry Purchasing Dept**

**Date:** 05/09/2017 @ 2:00  
**Bid/RFP:** Bid 17-18 Bulk Enhanced Rock Salt & Bulk Rock Salt

**FOUR (4) YEAR LUMP SUM BID 12/01/17 – 6/30/21**

McHenry County DOT, 31,500 Ton		82.74				
Algonquin, 12,000 Ton		81.01				
TOTAL	\$0.00	\$163.75	\$0.00	\$0.00	\$0.00	\$0.00

**ALTERNATE BID I: BASE TWO (2) YEAR BID 12/01/17 – 6/30/19**

McHenry County DOT, 13,500 Ton		72.90				
Algonquin, 6,000 Ton		71.38				
TOTAL	\$0.00	\$144.28	\$0.00	\$0.00	\$0.00	\$0.00

**ALTERNATE BID I: OPTIONAL TWO (2) YEARS 12/01/19 – 6/30/21**

McHenry County DOT, 18,000 Ton		75.90				
Algonquin, 6,000 Ton		74.38				
TOTAL	\$0.00	\$150.28	\$0.00	\$0.00	\$0.00	\$0.00

**ALTERNATE BID II: BASE TWO (2) YEAR BID 12/01/17 – 6/30/19**

McHenry County DOT, 13,500 Ton		72.90				
Algonquin, 6,000 Ton		71.38				
TOTAL	\$0.00	\$144.28	\$0.00	\$0.00	\$0.00	\$0.00

**ALTERNATE BID II: OPTION YEAR THREE (3) 12/01/19 – 6/30/20**

McHenry County DOT, 9,000 Ton		75.90				
Algonquin, 3,000 Ton		74.38				
TOTAL	\$0.00	\$150.28	\$0.00	\$0.00	\$0.00	\$0.00

**ALTERNATE BID II: OPTION YEAR FOUR (4) 12/01/20 – 6/30/21**

McHenry County DOT, 9,000 Ton		79.90				
Algonquin, 3,000 Ton		78.38				

**UNOFFICIAL RESULTS**

**SUMMARY SHEET**  
**County of McHenry Purchasing Dept**

**Date:** 05/09/2017 @ 2:00  
**Bid/RFP:** Bid 17-18 Bulk Enhanced Rock Salt & Bulk Rock Salt

TOTAL	\$0.00	\$158.28	\$0.00	\$0.00	\$0.00	\$0.00
<b>ALTERNATE BID III: BASE BID 12/01/17 – 6/30/18</b>						
McHenry County DOT, 4,500 Ton	72.61	69.72	84.35			
Algonquin, 3,000 Ton	72.61	68.46	83.98			
TOTAL	\$145.22	\$138.18	\$168.33	\$0.00	\$0.00	\$0.00
<b>ALTERNATE BID III: OPTION YEAR TWO (2) - 12/01/18 – 6/30/19</b>						
McHenry County DOT, 9,000 Ton		71.92	86.88			
Algonquin, 3,000 Ton		70.46	86.50			
TOTAL	\$0.00	\$142.38	\$173.38	\$0.00	\$0.00	\$0.00
<b>ALTERNATE BID III: OPTION YEAR THREE (3) - 12/01/19– 6/30/20</b>						
McHenry County DOT, 9,000 Ton		74.92	91.22			
Algonquin, 3,000 Ton		73.46	90.82			
TOTAL	\$0.00	\$148.38	\$182.04	\$0.00	\$0.00	\$0.00
<b>ALTERNATE BID III: OPTION YEAR FOUR (4) - 12/01/20– 6/30/21</b>						
McHenry County DOT, 9,000 Ton		78.92	95.79			
Algonquin, 3,000 Ton		77.46	95.37			
TOTAL	\$0.00	\$156.38	\$191.16	\$0.00	\$0.00	\$0.00
<b>GRAND TOTAL ENHANCED (TREATED) BULK ROCK SALT</b>	\$145.22	\$1,496.47	\$714.91	\$0.00	\$0.00	\$0.00
<b>GRAND TOTAL ALL</b>	\$452.26	\$3,908.45	\$1,715.18	\$2,588.20	\$0.00	\$0.00

**UNOFFICIAL RESULTS**



**VILLAGE OF ALGONQUIN**  
*GENERAL SERVICES ADMINISTRATION*

**– M E M O R A N D U M –**

DATE: May 4, 2017

TO: Village President and Board of Trustees

FROM: Ian Irizarry, Management Intern

SUBJECT: *Pot-Belly Pig Background*

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**Purpose:**

Per the recent request on providing background information on the behavior and impact of owning a pot-bellied pig, below are the characteristics identified with pot-belly pigs as well as associated behaviorisms.

**Summary:**

Pot-bellied pigs have the capacity to be great pets, equivalent to or better than other household pets. However, they also have the capacity to be trouble due to their intelligence and food obsession. Similar to other pets, discipline and training are essential to ensure these animals are not a nuisance. Spaying and neutering of pot-bellied pigs is essential to limit aggressive behavior.

**Background:**

Merriam-Webster defines potbellied pigs as “any of a breed of small pigs originating in southeastern Asia and having a straight tail, potbelly, swayback, and black, white, or black and white coat.”

*Dictionary.com* defines potbellied pigs as “a type of small, dark, domesticated pig with a lighter band running around its middle, native to Vietnam and sometimes kept as a pet.”

Pot-belly pigs originate from many different breed types but share many physical characteristics:

- Stand at about 16-28 inches tall
- Can average at around 100-200 pounds
- Smaller compared to other domesticated pigs

Other general characteristics include:

- Despite common perception, they are generally very clean and can be potty-trained
- Do not smell (except males who are not neutered)
- Very vocal (i.e., scream, squeal, grunt, etc.)

**Analysis:**

Based on research found on those who study the behavior of pot-bellied pigs and those who own them, the following describes common information associated to pot-belly pigs:

Pot-bellied pigs are highly intelligent mammals, close behind that of primates. Like other animals, they can be territorial of their space and food. Because of their tendency to be food obsessed, they can become very demanding and destructive to obtain sustenance wherever and however they can.

Another problem area associated with pot-bellied pigs is their tendency to become aggressive. If bored, they will root and destroy whatever they can. In addition to their being territorial, those with young children should be cautious leaving their kids with pot-belly pigs, as the pigs may be especially aggressive towards the child.

One final problem area to note coincides with the pot-bellied pigs possible inclination towards being demanding. Pot-bellied pigs are very vocal and can release a “scream” or squeal when distressed.

Apart from areas of concern, the intelligence of pot-bellied pigs makes them among the easiest domesticated animals to train. Providing a structured, disciplined, and intellectually stimulating environment allows for pot-bellied pigs to be pleasant companions. To prevent, or limit, much of their aggressive and destructive behavior, it is required that they be neutered or spayed at approximately 8 to 12 weeks of age.

**Examples of Regulations for Communities that Allow Pot-Belly Pigs:**

- Spayed or neutered (at 4 months of age)
- Males must have their tusks clipped and trimmed
- Cannot be outside without supervision
- Must be provided a fenced-in yard
- Can't be walked on any public grounds without a leash
- 125 pounds max (contested)
- One pig per household
- Can still be cited under the city's nuisance ordinance if issues of odor emerge
- An owner must submit paperwork to the city from a veterinarian verifying that the pig is a potbellied variety rather than a more traditional livestock variety raised for food production
- Potbellied pigs should not be raised as a food source
- Verifying true potbellied pigs becomes important
- \$12 registration fee

Attached below is an Appendix of ordinance language that other communities have used starting from more local level to national level.



# Appendix

## 1. Village of Plainfield

- A. [https://www.municode.com/library/il/plainfield/codes/code\\_of\\_ordinances?nodeId=COOR\\_CH60FMIPR\\_ARTIVAN\\_S6-106DE](https://www.municode.com/library/il/plainfield/codes/code_of_ordinances?nodeId=COOR_CH60FMIPR_ARTIVAN_S6-106DE)
- B. Maximum number and size limitations. It shall be unlawful for any person to keep more than one (1) miniature pig over the age of four (4) months, over twenty-two (22) inches in height, and weighing over one hundred (100) pounds, in or about any property, building or lot within the village.
- C. Neutering/spaying of miniature pigs. It is required that all miniature pigs kept within the village be neutered/spayed. All such neutering/spaying occurring within the village limits shall be performed by a veterinarian duly licensed in this state. Upon performing any neutering/spaying on any male or female miniature pig, the veterinarian shall issue to the owner or keeper of the miniature pig a certificate showing such fact.
- D. Livestock means any cattle, calves, sheep, swine, horses, ponies, mules, donkeys, turkeys, goats or other animals, other than fowl, which can or may be used in and for the preparation of meat or meat products for consumption by human beings or animals. For purposes of this chapter, chickens and miniature pigs shall not be considered livestock.

## 2. City of Joliet

- A. [http://joliet.granicus.com/DocumentViewer.php?file=joliet\\_678cf971fc3c505f2d9e5d3f760177b5.pdf](http://joliet.granicus.com/DocumentViewer.php?file=joliet_678cf971fc3c505f2d9e5d3f760177b5.pdf)
- B. Potbellied pigs (any variety of swine with a certificate from a licensed doctor of veterinary medicine that confirms the animal is a potbellied pig) shall be allowed as follows:
  - i. The potbellied pig shall be spayed or neutered and any male potbellied pig two years of age or older must have his tusks removed.
  - ii. No more than one potbellied pig shall be kept in any one residence.
  - iii. No potbellied pig shall be permitted outdoors other than for evacuation of waste material (excreta) on the owner's or keeper's premises, for exercise periods on the owner's or keeper's premises, or for transporting such pig to and from the veterinarian or other necessary places. During any such transporting, the potbellied pig shall be leashed and under the control of the person in charge of the potbellied pig. Said excreta shall be removed from any pen, cage or yard in which such potbellied pig is kept to prevent contamination, diseases, hazards and odors. The accumulation of excreta upon any premises is a violation of the provisions of this Section, shall be unlawful, and shall be deemed a public nuisance.
  - iv. No less than annually, any potbellied pig shall receive animal vaccinations for erysipelas and any other appropriate vaccinations from a veterinarian licensed by the State of Illinois, and certificates of such vaccinations shall be provided to any Animal Control Officer or any City official upon request.
  - v. The certificate from a licensed doctor of veterinary medicine that confirms the animal is a potbellied pig shall be provided to any Animal Control Officer or any City official upon request.
  - vi. The pot-bellied pig shall not weigh more than one hundred twenty-five pounds.
  - vii. The pot-bellied pig shall not exceed eighteen inches in height as measured from the shoulder of said animal.
  - viii. Each pot-bellied pig shall be provided with a fenced yard designed to assure that the animal is confined and managed in a safe, clean and odor-free manner when out-of-doors. Notwithstanding any other provision of this code, the pot-bellied pig may be kept as a pet in the residence on the lot upon which said pig resides.
  - ix. Each pot-bellied pig while on a street, sidewalk or other public place shall be restrained by a harness and leash or similar restraint not longer than six feet in length held by a competent person.
- C. This section shall not be construed to apply to zoological parks, performing temporary animal exhibitions or circuses.

### 3. New Hampshire Municipal Lawyers Association

- A. <http://www.nh.gov/oep/planning/resources/conferences/spring-2014/documents/crean-agriculture-and-land-use-paper.pdf>
- B. Pot belly pig advocates assert that they are not good eating and they are not wild, so they must be domesticated animals, i.e., pets. They also assert that the pigs carry fewer germs than even dogs or cats (so they are not a health risk) and they are much quieter than most any dog. They also assert that opposition to pigs as pets often may arise not from planners or local officials, but from some animal rights groups who may think that keeping pot belly pigs from becoming legalized will somehow further their cause in getting people to not eat meat
- C. The Manchester, Connecticut zoning board overturned a code enforcement officer's effort to have a pot bellied pig removed from property, based on a finding that "There is no definition in the Town zoning regulations regarding the types of animals considered to be livestock or the types of animals considered to be domestic pets."

### 4. The City of Portland

- A. <https://www.portlandoregon.gov/citycode/article/13515>
- B. It is unlawful to have or to keep within the limits of the City any live pigs or swine for a longer period than 3 days.
- C. Notwithstanding the above, or the terms of Chapter 13.05, the having or keeping of swine commonly referred to as Miniature Vietnamese, Chinese or Oriental pot-bellied pigs (*sus scrofa vittatus*) is allowed, subject to the following:
  - i. Any pig or swine shall be considered to fall within this exception if its maximum height is no greater than 18 inches at the shoulder and it weighs no more than 95 pounds.
- D. No more than three Miniature Vietnamese, Chinese or Oriental pot-bellied pigs shall be kept at any one address for any period in excess of 3 days.

### 5. Riverside, California

- A. No more than 2 miniature pot-bellied pigs are allowed on any single family residentially zoned property
- B. Pot-bellied pigs are still considered livestock notwithstanding size
- C. The words "pot-bellied pig" shall mean a domesticated miniature Vietnamese, Chinese or Asian pot-bellied or pot-belly pig not exceeding one hundred twenty-five pounds in weight and eighteen inches in height measured at the shoulder
- D. it is unlawful for any person to own or have custody, control or possession of any pot-bellied pig within the City unless such pig is licensed pursuant to the provisions of this Chapter within ten calendar days upon said pig's entry to the City and unless said pig complies with the regulations
- E. Regulations:
  - i. Spayed/Neutered
  - ii. No more than 125lbs
  - iii. No more than 18 inches tall (measures from shoulders)
  - iv. De-tusked
  - v. Confined to premises
  - vi. Confined to leash off premises